

**FIRST AMENDMENT TO USE AGREEMENT  
FOR THE ATHLETIC FIELD COMPLEX LOCATED AT  
NORTHSHORE ATHLETIC FIELDS PROPERTY**

RECITALS

- A. In 2013, King County, a home rule charter county and political subdivision of the State of Washington ("the County"), and Northshore Athletic Fields (NAF) a not-for-profit, tax-exempt 501(c)(3) corporation organized under the laws of the State of Washington entered into a 30 year Use Agreement (the "Agreement") pursuant to Ordinance 17739 to develop, operate, use, and maintain an athletic field complex (the "Complex"), located at the Northshore Athletic Fields property in King County, Washington, ("the Site") as a recreational facility for the benefit and use of the public.
- B. Section 4.2 of the Agreement references the Master Plan for the Complex (Exhibit B), which includes a proposed list of capital improvements to the Site which will be completed in the near-term and in the future as funding becomes available, and the process for King County approval of improvements at the Site. Exhibit C to the Agreement includes the proposed schedule and sequence of capital improvements at the Site.
- C. Pursuant to Section 4.2 King County has reviewed and approved additional improvements proposed by NAF which include the conversion of a third baseball infield to synthetic turf, a new playground, and related infrastructure collectively referred to as Phase 2.
- D. King County and NAF wish to amend Exhibit B and Exhibit C of the Agreement to reflect the additional Phase 2 improvements approved by King County.
- E. In addition, King County wishes to award NAF a \$423,000 grant from the Community Partnerships and Grant Program (CPG) towards the construction of Phase 2.

NOW, THEREFORE, pursuant to Section 8.16 of the Agreement, King County and NAF agree to amend the Agreement as follows::

1. Sections 4.2.2; 4.3; and 8.17 are deleted in their entirety and replaced by the following.

*4.2.2 Project Plan.* NAF contemplates making the improvements specified in Exhibit B to this Agreement according to the schedule and sequence set forth in Exhibit C to this Agreement. NAF shall present a "Project Plan" to King County before making any material alteration to any part of the Site or the Complex, such as those improvements listed in Exhibit B, including any substantial change to the landscaping. Each Project Plan shall describe the planning process with a timeline and milestones; describe the principal features of the proposed improvement; provide conceptual design drawings, if applicable; describe in reasonable detail and rationale the goals and objectives of the improvement; identify the party primarily responsible for supervising the project; and provide a schedule showing the sources and timing of funding for the project. The Division shall review the Project Plan for the Complex in concept and reserves the right to approve the final design of improvements to the Complex, consistent with established King County zoning, design code, or both. Division approval shall not constitute regulatory approval by King County. Work shall not begin on any particular project without first obtaining prior written approval of the Project Plan by the Division. This right of review and approval is in addition to and separate from any permits or other process that may be required by law.

*4.3 Grant Award.* The Division will provide a Community Partnership Grant (CPG) to NAF in the amount of \$423,000. These moneys shall be applied towards the permitting and capital cost to construct

Phase 2 of the Facility at the Site per Exhibit B and Exhibit C. With the exception of any other King County grants that may independently be awarded to NAF, King County will be under no obligation, directly or indirectly, to pay for any labor, material, or improvement associated with the Complex in excess of the \$423,000 capital outlined above.

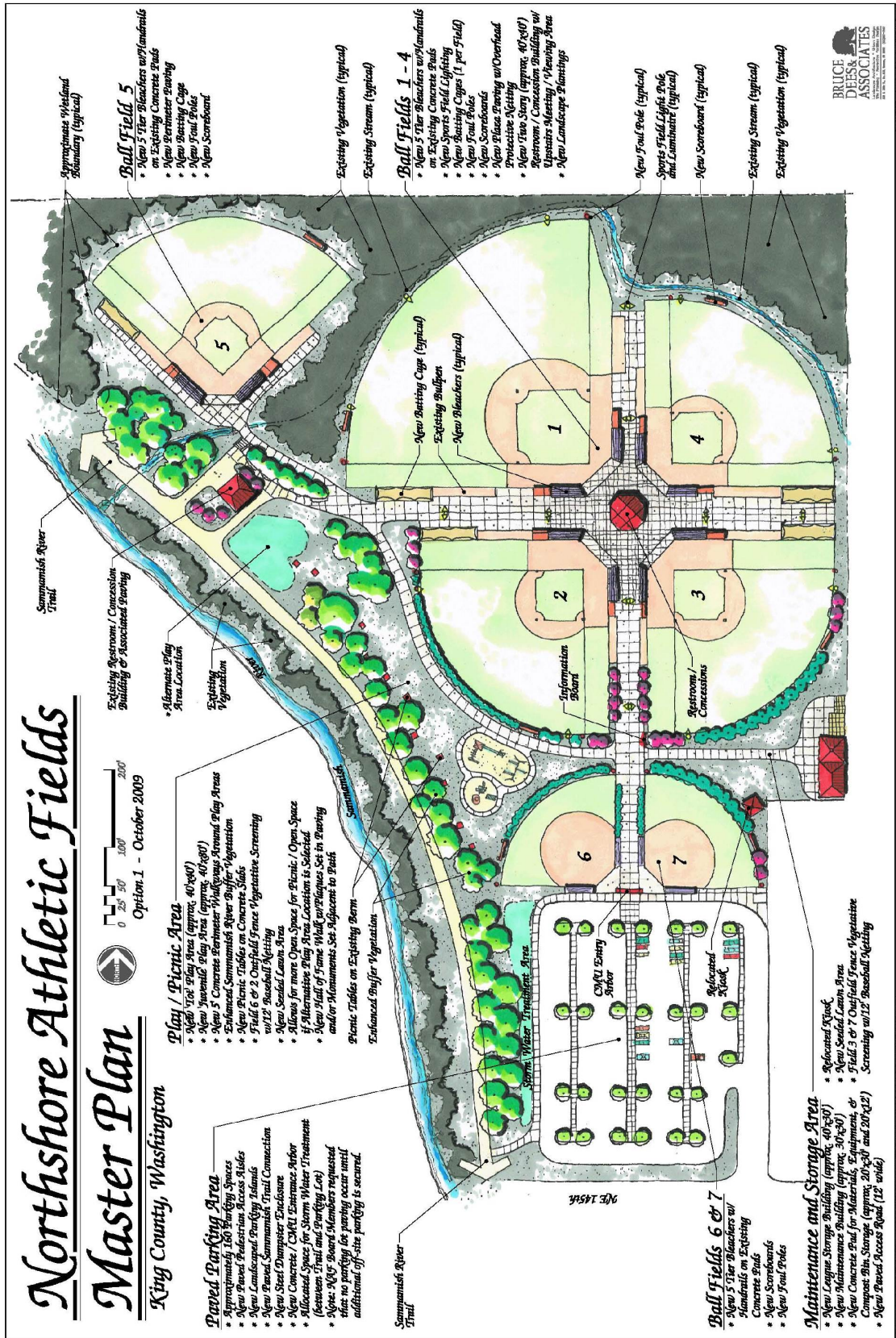
8.17 *Approved Exhibits.* The following exhibits are attached to this Agreement:

- (A) Illustration of the Site, the Common Areas, and the Complex;
- (B) NAF'S Master Plan and Proposed List of Capital Improvements dated 5/31/22;
- (C) Schedule (NAF's Proposed Timing and Sequence of Capital Improvements) dated 5/31/22;
- (D) King County Code 7.12;
- (E) IAC Project Agreement No. 66-025;
- (F) Division's Advertising and Sponsorship Policy, PAR 1-18

2. Exhibit B is deleted in its entirety and replaced by the following new Exhibit B:

AMENDED EXHIBIT - B

NAF's Master Plan and Proposed List of Capital Improvements



# Northshore Athletic Fields

## Master Plan

King County, Washington

Option 1 - October 2009



- Paved Parking Area**
- Approximately 160 Parking Spaces
  - New Paved Pedestrian Access Slides
  - New Landscaped Parking Islands
  - New Paved Sammamish Trail Connection
  - New Steel Dumpster Enclosure
  - New Concrete / CMU Enclosure Above (Between Trail and Parking Lot)
  - Note: 200' Board Members requested that no parking be permitted until additional off-site parking is secured.

- Play / Picnic Area**
- New 7' x 10' Play Area (approx. 40' x 60')
  - New Juvenile Play Area (approx. 40' x 60')
  - New 5' Concrete Reinforced-Walkways Around Play Areas
  - Enhanced Sammamish River Buffer Vegetation
  - New Picnic Tables on Concrete Slabs
  - Field 6 & 7 Outfield Fence Vegetative Screening w/12' Baseball Netting
  - New Sealed Lawn Area
  - Allow for more Open Space for Picnic / Open Space if Alternative Play Area Location is Selected
  - New 1/2" of 5' x 5' Walk w/Plaque Set in Paving and/or Monuments Set Adjacent to Bush
- Picnic Tables on Existing Barn  
Enhanced Buffer Vegetation

- Ball Field 5**
- Approximate Wetland Boundary (typical)
  - New 5 Tier Bleachers w/Manrails on Existing Concrete pads
  - New Backstop
  - New Backstop Cage
  - New Foul Poles
  - New Scoreboard

- Ball Fields 1 - 4**
- New 5 Tier Bleachers w/Manrails on Existing Concrete pads
  - New Sports Field Lighting
  - New Backstop Cages (1 per field)
  - New Foul Poles
  - New Scoreboards
  - New Fences w/Overhead Protective Netting
  - New 1/2" Story (approx. 40' x 60')
  - Restroom / Concession Building w/ Upper Screening / Paving Area
  - New Landscape Plantings

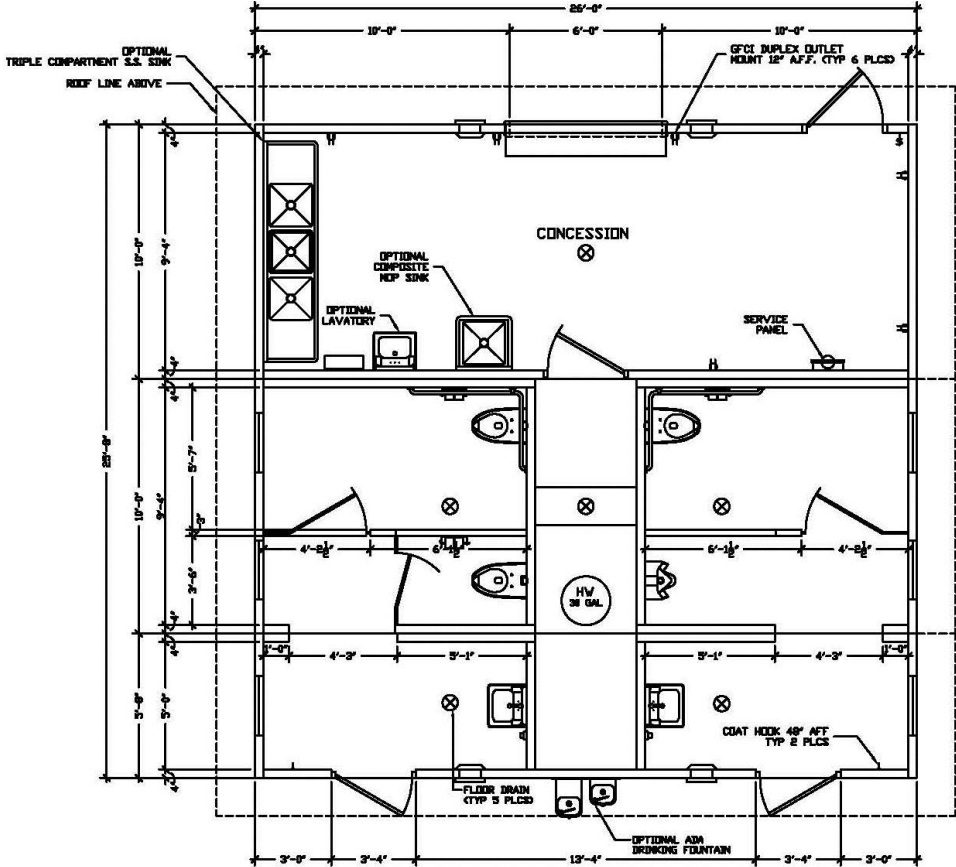

- Ball Fields 6 & 7**
- New 5 Tier Bleachers w/Manrails on Existing Concrete pads
  - New Scoreboards
  - New Foul Poles

- Maintenance and Storage Area**
- New League Storage Building (approx. 40' x 30')
  - New Maintenance Building (approx. 30' x 30')
  - New Concrete Pad for Materials, Equipment, & Compost Bin Storage (approx. 20' x 30' and 20' x 12')
  - New Paved Access Road (12' wide)
  - Relocated Kiosk
  - New Sealed Lawn Area
  - Field 5 & 7 Outfield Fence Vegetative Screening w/12' Baseball Netting



**EXHIBIT – B**

**NAF’s Master Plan and Proposed List of Capital Improvements**

IMPROVEMENT PROJECT	BUDGET
<p>Restroom/Concession Building (sample drawing; CXT Precast Products)</p> 	<p>\$250,000</p>
<p>Batting Cages (sample image represents a dual bullpen, 80’ x 30’ structure)</p> 	<p>\$20,000</p>

## EXHIBIT – B

### Schedule (NAF's Proposed Timing and Sequence of Capital Improvements)

<div style="display: flex; justify-content: space-between;"> <div style="width: 25%;"> <p><b>Maintenance Building</b></p> <div style="border: 1px solid black; padding: 5px; margin-bottom: 10px;"> <p>(58") RIDGE CAP 1</p> <p>(100") ROOF STRAIGHT 2</p> <p>(95") EAVE PANELS 2</p> <p>(65") VERTICAL STRAIGHT 2</p> </div> </div> <div style="width: 70%; text-align: right; vertical-align: middle;"> <p style="font-size: 24pt; margin: 0;"><b>\$25,000</b></p> </div> </div>	
Electrical (upgrade to code)	\$15,000
Picnic Area & Kids Play Structure	\$50,000
Field—1 Bleachers	\$15,000
Walkway / Accessibility	\$50,000
Entry	\$15,000
Infield Turf and/or Fencing / Backstops / Netting	\$350,000 \$100,000

# NORTHSHORE ATHLETIC FIELDS RENOVATION

## WOODINVILLE, WASHINGTON

### GRADING PERMIT SET

### PROJECT 2018-06

#### LANDSCAPE ARCHITECT:

SANDERSON STEWART  
 CONTACT: ERIK J. SWEET, ASLA, RLA  
 1300 N Transtech Way, Billings, MT, 59102  
 P(406) 869-3344  
 C (425) 766-9535

#### CIVIL ENGINEER:

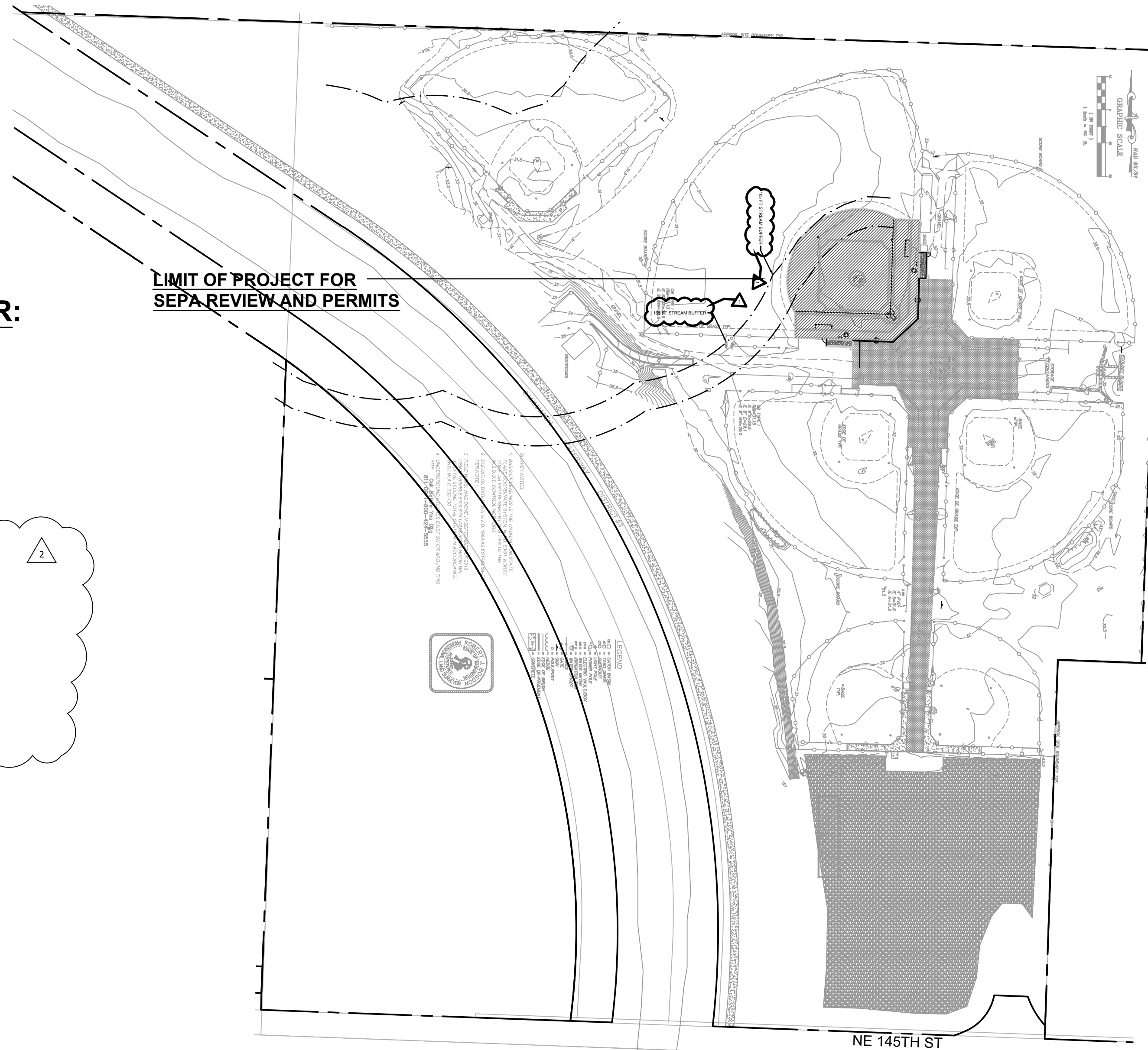
DAVID EVANS & ASSOCIATES  
 CONTACT: Robert Jefferson, P.E.  
 2106 Pacific Ave, Suite 400  
 Tacoma, WA 98402  
 P (253)250-0634

#### GEOTECHNICAL ENGINEER:

ASSOCIATED EARTH SCIENCES  
 CONTACT: MATT MILLER  
 911 5th Ave.  
 Kirkland, WA 98033  
 P(425) 827-7701  
 F(425) 827-5424

#### STRUCTURAL ENGINEER:

LYVER ENGINEERING AND DESIGN, LLC  
 CONTACT: TROY D. LYVER, PE/SE  
 7950 SE 106th Ave.  
 Portland, OR 97266  
 P(503) 705-5283



#### DRAWING INDEX:

- G1 COVER SHEET
- G2 ADJOINING PARCELS
- S1 STRUCTURAL NOTES
- EX1 EXISTING CONDITIONS
- L0 OVERALL SITE PLAN
- L1 DEMOLITION PLAN
- L2 GRADING PLAN
- L3 FIELD DRAINAGE PLAN
- L4 SURFACE LAYOUT PLAN
- L5 FIELD DETAILS
- L6 FIELD DETAILS
- L7 FIELD DETAILS
- C1.0 TESC & DEMOLITION PLAN
- C1.1 TESC NOTES & DETAILS
- C2.0 STORM DRAINAGE PLAN
- C3.0 NOTES & DETAILS

PARCEL NO : 152605-9070

#### LEGAL DESCRIPTION:

POR OF S 1/2 OF SW 1/4 LESS POR LYING WLY OF E LN OF SAMM WATERWAY LESS E 287.15 FT LESS E 387.15 FT OF S 485 FT LESS RD TGW 100 FT STRIP ELY OF&CONCENTRIC TO ELY LN OF SAMM WATERWAY IN N 1/2 & NW 1/4 OF SE 1/4 OF SD SEC TGW POR SD SE 1/4 ELY OF & CONCENTRIC WITH & 50 FT WLY OF SWLY LN OF SAMM WATERWAY LESS POR SD 50 FT STRIP LYING NLY OF SLY LN OF LOT 2 OF KCSP 1281011 REC #8203120543 LESS RD LESS P/L R/W LESS POR PER REC #20100211000595

**Site Plan Approval**  
 Approval of these plans is for construction of road and drainage improvements, site drainage & grading and temporary erosion control in unincorporated King County only. These plans do not authorize any other utility approval or improvements proposed in any State right of way.  
 Site plan approval is void if the commercial building permit has not been obtained or renewed within two years of approval.  
 Subdivision plan approval is void if the final plat is not recorded prior to the preliminary plat approval expiration.

**PRO RATA SHARE ASSESSMENT ANALYSIS**  
 (County Use Only)

Section	Township	Range	Tax Parcel	Number

Site Location is within the \_\_\_\_\_ drainage shed(s)  
 Pro Rata Share Assessment(s) are:  Required  Not Required from the site due to development for increased storm water runoff.  
 Peak Runoff Assessment Rate(\$ \_\_\_\_\_) per c.f.s. increases.(10 year, 2 hour storm)  
 Peak Volume Assessment Rate(\$ \_\_\_\_\_) per Ac. Ft. increases.(2 year, 2 hour storm)

**AGREEMENTS, PLAN REFERENCES, PERMITS ETC.**  
 (To be completed by Consultant)

**Preliminary Plat Approval/Permit Issued Date:** \_\_\_\_\_

**Expiration Date:** \_\_\_\_\_

**Other Related Permit Numbers Received:**

Right-of-Way Use Permit \_\_\_\_\_

Grading \_\_\_\_\_

Building/Structural \_\_\_\_\_

Other \_\_\_\_\_

**Board feet of tree removal on site:** \_\_\_\_\_

**Cubic yards of material hauled on/off the site:** \_\_\_\_\_

**Is this a highly sensitive area site? (Yes/No):** \_\_\_\_\_  
 Note: If "yes", per SWDM Appendix D44 a Highly Sensitive Site Erosion Control Supervisor is required. See ESC plan.

**Emergency 911**  
 Police-Fire-Rescue

**RECOMMENDED FOR APPROVAL**  
 (To be completed by King County)

Date \_\_\_\_\_

Review Engineer \_\_\_\_\_

Senior Engineer \_\_\_\_\_

Traffic & Planning Engineer \_\_\_\_\_

Sensitive Areas \_\_\_\_\_

Structural Review Engineer \_\_\_\_\_

Other \_\_\_\_\_

**Notice Required**

Contractors shall notify operators who maintain underground utility lines in the area of proposed excavation or blasting at least two business days, but not more than ten working days prior to commencement of excavation or demolition in accordance with RCW Title 19. Names and telephone numbers of the operators of underground utility lines in this project appear below. These numbers shall also be used to serve in an emergency conditions as required.

	Phone
Sanitary Sewer	_____
Water District	_____
Gas Company	_____
Power Company	_____

Call Before You Dig DIAL-A-DIG 1-800-424-5555

- Notes**
- The Developer is required to notify the Land Use Services Division, Land Use Inspection Section (206) 296-8842, three days prior to the beginning of construction for a preconstruction conference and specifically request inspection before beginning:
    - A. Installing siltation and erosion control measures
    - B. Clearing and grubbing
    - C. Earthwork
    - D. Installation of any underground utility
    - E. Before placing subbase, base or paving surfaces
    - F. Installation of any forms or placing any concrete
  - A permit must be obtained from the office of the Resident Engineer, Washington State Department of Transportation, before any construction is started on any existing state route.
  - A Hydraulic Project Approval (HPA) Permit must be obtained from the Washington State Department of Fisheries prior to any work when required.

**Bonding Information**

Restoration Bond Amount \$ \_\_\_\_\_

**King County**  
 APPROVED FOR CONSTRUCTION  
 DEPARTMENT OF DEVELOPMENT & ENVIRONMENTAL SERVICES

Date \_\_\_\_\_ Molly A. Johnson, P.E.  
 Development Engineer

**PROJECT CONTACT INFORMATION**  
 (To be completed by Consultant)

Northshore Athletic Fields

Applicant Contact: \_\_\_\_\_  
 Name: \_\_\_\_\_ Phone: \_\_\_\_\_  
 12900 NE 180th Street, Bothell, WA 98011  
 Owner  Lessee  
 Address and Zip Code

Ownership: \_\_\_\_\_  
 Partnership  An Individual  
 KING COUNTY - Parks and Recreation Division 206-734-7248  
 Name: \_\_\_\_\_ Phone: \_\_\_\_\_  
 201 S Jackson St, Seattle, WA 98077  
 Address and Zip Code

Certified Surveyor/Engineer: \_\_\_\_\_  
 SANDERSON STEWART  A Corporation  A Partnership  
 Erik J. Sweet, ASLA, RLA 425-766-9535  An Individual  
 Name: \_\_\_\_\_ Phone: \_\_\_\_\_  
 1300 N Transtech Way, Billings, MT 59102  
 Address and Zip Code



NORTHSHORE ATHLETIC FIELDS  
 FIELD RENOVATIONS  
 NORTHSHORE ATHLETIC FIELDS CORPORATION  
 14735 NE 145TH ST WOODINVILLE, WA 98072

**SANDERSON STEWART**  
 Enduring Community Design

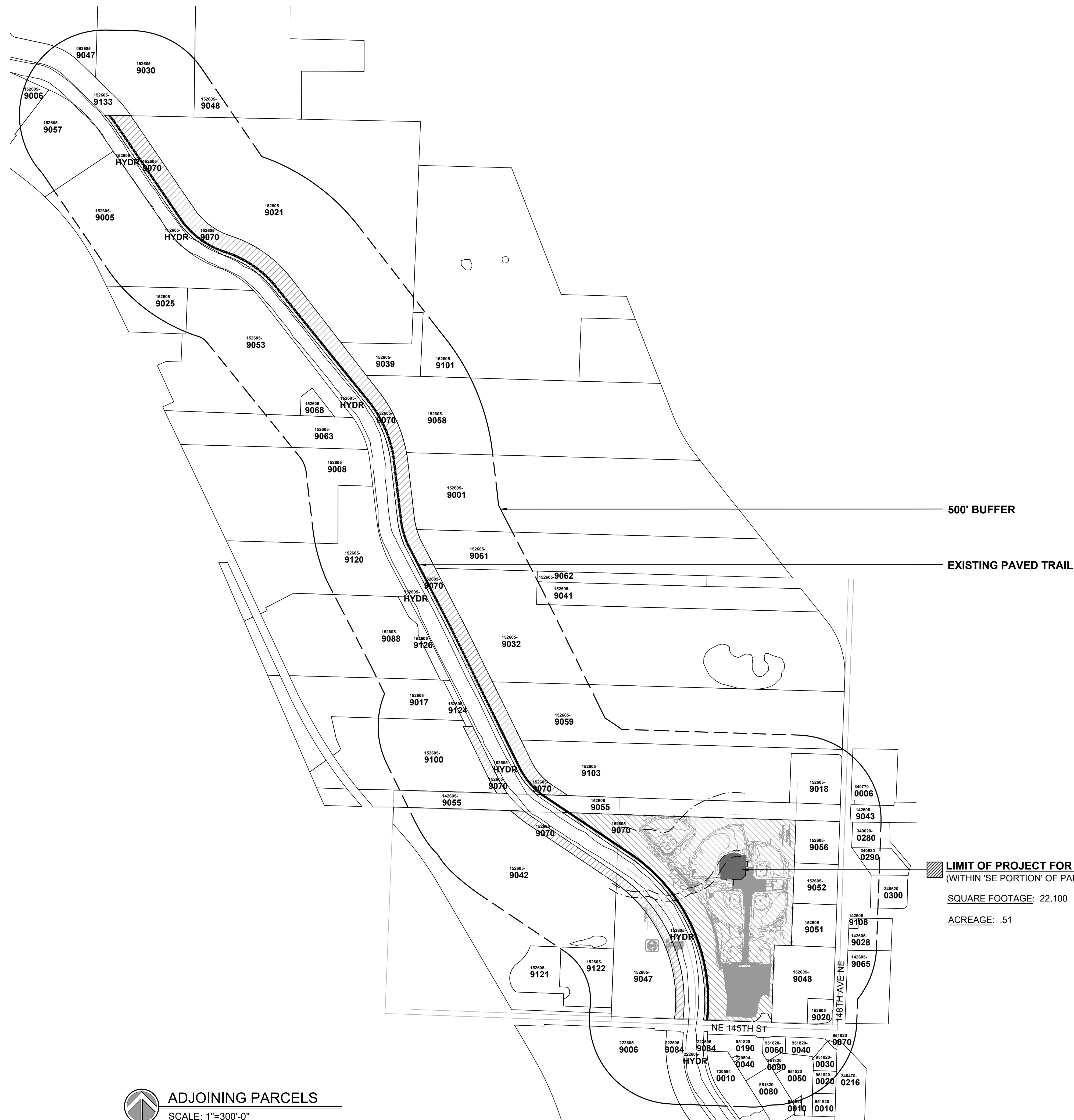
Drawing:  
 COVER SHEET

Date: 06/02/2020  
 Job #: 20025  
 Scale: 1"=100'-0"  
 Design: EJSW  
 Drawn: JWC  
 Check: MM  
 Revisions: \_\_\_\_\_  
 PERMIT SET REVISIONS

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**G1**



PERMIT RESUBMITTAL 2-18-2022



500' BUFFER

EXISTING PAVED TRAIL

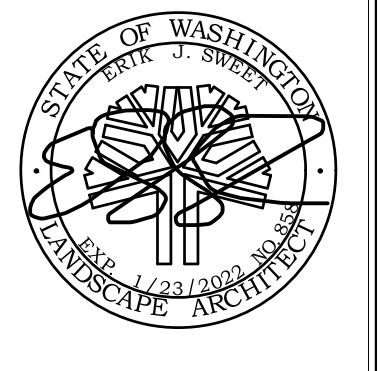
**LIMIT OF PROJECT FOR SEPA REVIEW AND PERMITS**  
 (WITHIN 'SE PORTION' OF PARCEL 152605-9070)

SQUARE FOOTAGE: 22,100

ACREAGE: .51

**ADJOINING PARCELS**  
 SCALE: 1"=300'-0"

CALL BEFORE YOU DIG  
 Call: TOLL FREE  
 1-800-424-5555



**NORTHSHORE ATHLETIC FIELDS  
 FIELD RENOVATIONS**  
 NORTHSHORE ATHLETIC FIELDS CORPORATION  
 14735 NE 145TH ST WOODINVILLE, WA 98072



Drawing:  
**ADJOINING PARCELS**

Date: 06/05/2020  
 Job #: 20025  
 Scale: 1"=300'-0"  
 Design: EJSW  
 Drawn: JWC  
 Check: MM  
 Revisions:

PERMIT SET REVISIONS

Sheet:

**G2**



NORTHSHORE ATHLETIC FIELDS  
FIELD RENOVATIONS  
NORTHSHORE ATHLETIC FIELDS CORPORATION  
14735 NE 145TH ST WOODINVILLE, WA 98072



Drawn:

COVER SHEET

Date: 06/02/2020

Job #: 20025

Scale: 1"=100'-0"

Design: EJSW

Drawn: JWC

Check: MM

Revisions:

PERMIT SET REVISIONS

Sheet:

S1

**PROJECT STRUCTURAL NOTES**

**GENERAL INFORMATION:**

1. THE CONTROLLING DESIGN CODE IS THE 2018 IBC WITH CURRENT STATE OF WASHINGTON AMENDMENTS..
2. THE PROJECT WAS DESIGNED FOR THE FOLLOWING LOADS:
  - A. SOIL DESIGN VALUES: ASSOCIATED EARTH SCIENCES, DATED SEPTEMBER 15, 2014 AND REVISED FEBRUARY 9, 2022) - PROJECT #20140453E001.
    - ALLOWABLE BEARING: 1500 PSF WITH  $\frac{1}{4}$  INC FOR WL/EQ
    - PASSIVE PRESSURE: 150 PCF WITH  $\frac{1}{4}$  INC FOR WL/EQ
  - B. WIND LOAD: 100 MPH EXPOSURE B (130 MPH ULTIMATE) (USE 25% OF SURFACE AREA OF NETTING w/ GLAZE ICE BUILD UP)
  - C. SEISMIC LOAD: SITE CLASSIFICATION 'D'
3. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING WORK.
4. ALL FEATURES OF CONSTRUCTION NOT FULLY SHOWN SHALL BE OF THE SAME TYPE AND CHARACTER AS SHOWN FOR SIMILAR CONDITIONS. SUBJECT TO REVIEW OF A.O.R. AND E.O.R.

**SPECIAL INSPECTION:**

1. SPECIAL INSPECTION REQUIRED SHALL BE PROVIDED PER IBC CHAPTER 17.
2. SPECIAL INSPECTION IS REQUIRED AS FOLLOWS:
  - A. REINFORCING STEEL SHALL BE INSPECTED PERIODICALLY DURING INSTALLATION TO VERIFY SIZE AND LOCATION.
  - B. MASONRY OPERATIONS SHALL BE INSPECTED PER CHAPTER 17 AND LOCAL JURISDICTION.
  - C. CONCRETE SHALL BE INSPECTED CONTINUOUSLY DURING PLACEMENT. INSPECTOR SHALL MAKE CONCRETE CYLINDERS AND TEST 3 CYLINDERS FOR EVERY 100 YARDS OF CONCRETE POURED, OR FOR EACH DAY'S POUR. THE CYLINDERS SHALL BE TESTED AT 7 DAY, 28 DAY AND 1 YEAR FOR CONTROL.
  - D. ALL INSPECTION REPORTS SHALL BE DISTRIBUTED TO THE OWNER, ARCHITECT, ENGINEER, AND PERMIT AGENCY. THE INSPECTOR SHALL PROVIDE A SUMMARY LETTER OF PROJECT COMPLETION.

**FOUNDATIONS:**

1. FENCE POSTS TO BE EMBEDDED IN CONCRETE PIERS.

**REINFORCING STEEL:**

1. REINFORCING IS NOT REQUIRED FOR THESE FOUNDATIONS. IF REINFORCING IS ADDED, THEN ALL INSTALLATION AND USE SHALL BE GOVERNED BY THE CURRENT EDITION OF ACI 318.

**CONCRETE:**

1. ALL CONCRETE SHALL DEVELOP A MINIMUM 28 DAY LAB CURED COMPRESSIVE STRENGTH OF 3000 PSI.
2. ALL EXPOSED CONCRETE TO HAVE 5% +/- 1% AIR, BY VOLUME, CONFORMING TO ASTM C 260.

**FRAMING LUMBER:**

1. ALL FRAMING LUMBER SHALL BE DOUGLAS FIR-LARCH AND SHALL BE GRADED UNDER THE MOST RECENTLY ADOPTED RULES OF THE WEST COAST LUMBER INSPECTION BUREAU (WCLB).
2. ALL BEAMS AND JOISTS SHALL BE NUMBER 2 (UNLESS NOTED OTHERWISE).
3. ALL STUDS AND BLOCKING SHALL BE NUMBER 2.
4. ALL LUMBER IN CONTACT WITH CONCRETE OR EXPOSED SHALL BE PRESSURE TREATED IN ACCORDANCE WITH AWP STANDARD C-2 AND SHALL BEAR THE AWP QUALITY MARK. FIELD CUTS, NOTCHES AND DRILLED HOLES OF PRESSURE TREATED MEMBERS SHALL BE RETREATED IN THE FIELD IN ACCORDANCE WITH AWP M4
5. ALL FRAMING CONNECTIONS TO BE MADE WITH SIMPSON FRAMING HARDWARE. COORDINATE SELECTION W/ ENGINEER PRIOR TO CONSTRUCTION. FASTENERS FOR PRESSURE OR FIRE RETARDANT TREATED WOOD SHALL BE HOT DIPPED GALVANIZED.

**PLYWOOD SHEATHING:**

1. ALL PLYWOOD SHALL BE C-D GRADE WITH EXTERIOR GLUE MANUFACTURED IN ACCORDANCE WITH THE UNITED STATES PRODUCT STANDARD PS 1-83/ANSI A199.1 "FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD" AND SHALL CONFORM TO UBC STANDARD 23-2 AND SHALL BEAR THE APA TRADEMARK OF THE APA. PLYWOOD SHALL BE LAID WITH END JOINTS STAGGERED.
2. BLOCK ALL SHEAR WALL SHEATHING WITH 2X BLOCKING AT ALL EDGES.
3. ALL EXTERIOR WALLS ARE TO BE CONTINUOUSLY SHEATHED.
5. OSB MAY BE SUBSTITUTED FOR PLYWOOD WITH SAME SPAN RATING.

**TIMBER FASTENERS:**

1. ALL TIMBER MATERIAL SHALL BE FASTENED PER IBC TABLE 2304.9.1, "FASTENING SCHEDULE" U.N.O.

**STRUCTURAL STEEL AND MISCELLANEOUS IRON:**

STRUCTURAL STEEL SHALL BE:

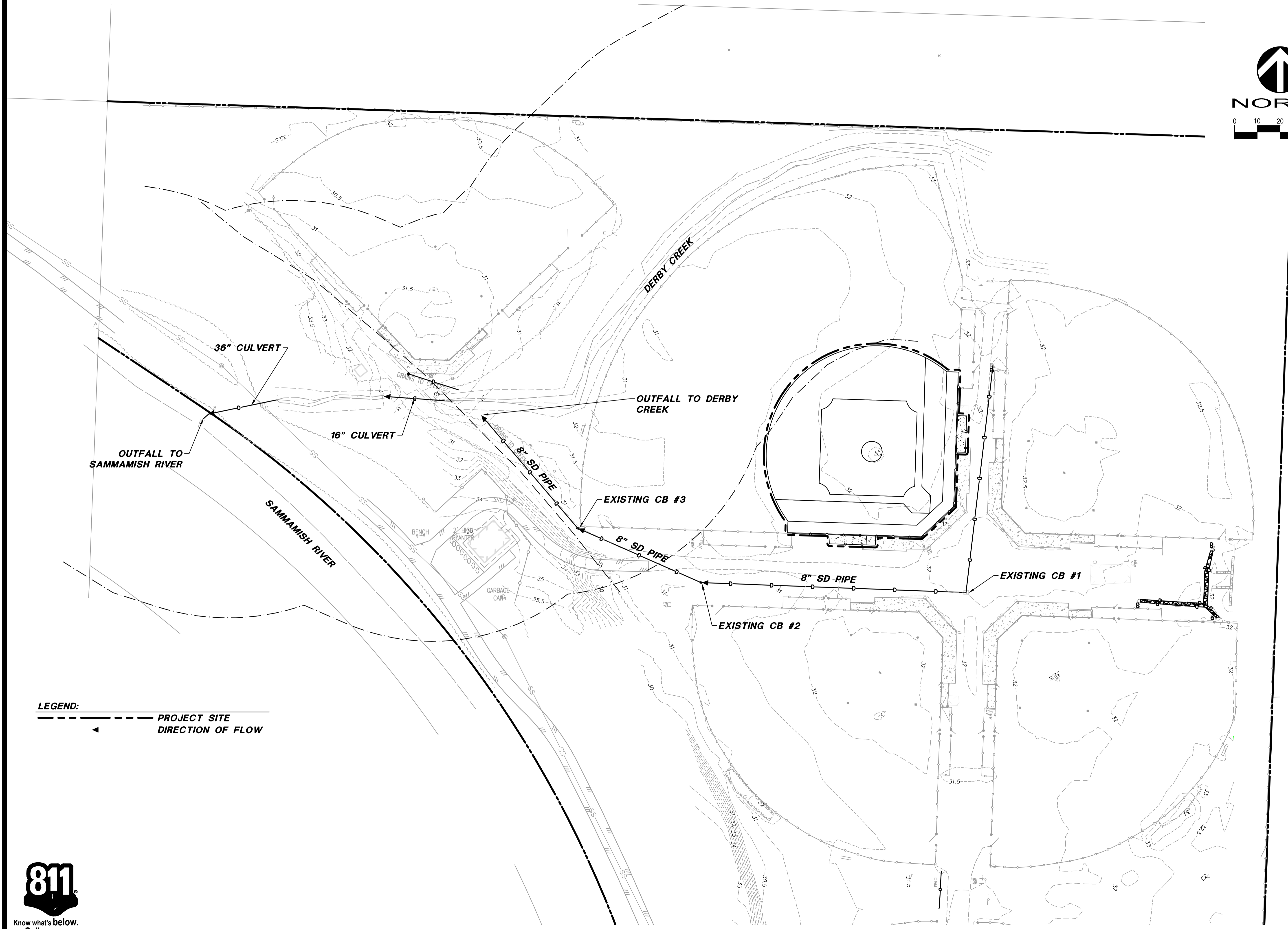
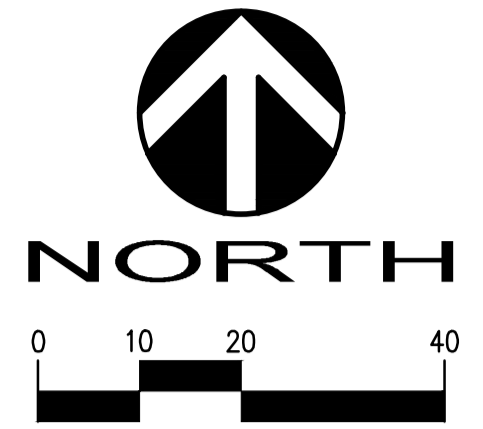
ASTM A500, GRADE B (Fy=42 KSI) HOLLOW STRUCTURAL SECTIONS (PIPES)  
OPTIONAL FENCE PIPE SS40 PER MANUFACTURER SPECIFICATIONS

1. DESIGN, FABRICATION, AND ERECTION SHALL BE IN ACCORDANCE WITH THE "AISC SPECIFICATION FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS" WITH "COMMENTARY" AND THE "CODE OF STANDARD PRACTICE", WITH EXCEPTIONS NOTED IN SPECIFICATIONS.
2. DRAWINGS ARE DIMENSIONED FOR LAYOUT AND NOT DIMENSIONED PER AISC STANDARDS. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COORDINATE BETWEEN ALL DRAWINGS AND DEVELOP SHOP DRAWINGS WITH DETAIL AND DIMENSIONING PER AISC.
3. ALL FABRICATION, ERECTION, IDENTIFICATION, AND PAINTING SHALL CONFORM TO AISC SPECIFICATIONS.
4. ALL STEEL EXPOSED TO WEATHER, SOIL, MOISTURE, OR AS DENOTED ON PLANS SHALL BE HOT DIP GALVANIZED PER ASTM A-123, OR OTHER APPROVED PROTECTIVE COATING.
5. ALL WELDING SHALL CONFORM TO AWS (LATEST EDITION) SPECIFICATIONS.
  - A. ALL WELDERS TO BE QUALIFIED UNDER AWS SPECIFICATIONS WITHIN THE PAST TWO YEARS FOR THE TYPE OF WELDING PERFORMED.
  - B. ALL WELDS SHALL BE PERFORMED USING PRE-QUALIFIED WELDING PROCEDURES.
  - C. WELDS FILLER METAL SHALL BE AWS A5.1 OR A5.5 E70XX ELECTRODES OR AWS A5.18 ER70S-X.
  - D. AFTER FABRICATION, BUT BEFORE INSTALLATION, REMOVE RUST, SCALE, GREASE, AND OIL BY WIRE BRUSHING AND CHEMICAL TREATMENT.
  - E. WELDING OF REINFORCING STEEL SHALL BE AS SPECIFIED IN THESE STRUCTURAL NOTES UNDER "CONCRETE REINFORCING STEEL".
6. ALL HIGH-STRENGTH BOLTS, MATERIAL AND INSTALLATION, SHALL CONFORM WITH ASTM STANDARDS.
  - A. BOLTS SHALL CONFORM WITH ASTM A 325, TYPE N. BOLTS NOT NOTED IN THE DRAWINGS AS TYPE SC SHALL BE TYPE N
  - B. FOR BEARING-TYPE CONNECTIONS, TYPE N, BOLTS SHALL BE TIGHTENED TO A SNUG TIGHT CONDITION, ONLY.
  - E. ALL HIGH-STRENGTH BOLTS SHALL BE INSTALLED WITH HARDENED WASHERS, CONFORMING WITH ASTM F 436, AND NUTS, CONFORMING WITH ASTM A 563.
  - F. ALL BOLTS REQUIRING GALVANIZATION SHALL BE HOT-DIPPED GALVANIZED IN ACCORDANCE WITH ASTM A 153, CLASS C.
- G. NO WELDING TO HIGH-STRENGTH BOLTS IS ALLOWED.
7. ALL MEMBERS SHALL BE CONNECTED WITH SEMI-FINISHED MACHINE BOLTS, UNLESS NOTED OTHERWISE ON PLANS. MACHINE BOLTS SHALL CONFORM TO ASTM A 307, GRADE A.
8. BOLT HEADS OR NUTS BEARING ON SLOPING FLANGES SHALL BE EQUIPPED WITH BEVELED WASHERS.
9. ERECTION AIDS (SUCH AS BOLTS, CLIPS, SHIMS, SEATS OR ANY OTHERS REQUIRED TO FACILITATE CONSTRUCTION) ARE THE RESPONSIBILITY OF THE CONTRACTOR TO DESIGN AND PROVIDE.
10. ALL FIELD WELDS TO GALVANIZED STEEL AND AREAS DAMAGED BY WELDING, FLAME CUTTING OR HANDLING, SHALL BE REPAIRED WITH AN ORGANIC COLD GALVANIZING COMPOUND HAVING A MINIMUM OF NINETY-FOUR PERCENT (94%) ZINC DUST IN THE DRY FILM. APPLY IN MULTIPLE COATS, UNTIL AN 8 MIL THICKNESS HAS BEEN ACHIEVED. SURFACES TO RECEIVE ZINC-RICH PAINT SHALL BE CLEAN, DRY AND FREE OF OIL, GREASE, SALT AND CORROSION PRODUCTS.





DAVID EVANS  
AND ASSOCIATES INC.  
20300 Woodinville Shomohish Rd NE  
Woodinville Washington 98072  
Phone: 425.415.2000



DOWNSTREAM ANALYSIS SITE MAP  
SLA LANDSCAPE ARCHITECTS  
NORTHSHORE ATHLETIC FIELDS  
WA  
KING COUNTY

NO.	DATE	REVISION	BY	CHK
1				
2				
3				
4				
5				
6				
7				
8				
9				
10				

DESIGNED: RFL  
DATE: \_\_\_\_\_  
BY: CK  
CADD: MAS

PROGRESS SET

STAMP NOT VALID  
UNLESS SIGNED AND DATED

FIRST SUBMITTAL DATE: JULY 2019  
SCALE: HORIZ: --- VERT: ---

PROJECT NO.  
**SLAL00000004**

SHEET NO.  
**EX-1**

OF 1

Plot Date: 7/31/2019 12:35 PM  
Save Date: 7/31/2019 12:33 PM  
By: Mjst  
File: P:\S\SLAL\00000004\0400\AD\EC\H\B\T\Downstream Analysis Site Map.dwg





**NORTHSHORE ATHLETIC FIELDS  
FIELD RENOVATIONS**  
NORTHSHORE ATHLETIC FIELDS CORPORATION  
14725 NE 145TH ST WOODINVILLE, WA 98072



Drawing:  
**OVERALL  
SITE PLAN**

Date: 06/05/2020  
Job #: 20025  
Scale: 1"=40'-0"  
Design: EJSW  
Drawn: JWC  
Check: MM  
Revisions:



Sheet:

**LO**

PROJECT DOES NOT  
ENCROACH INTO 165' DERBY  
CREEK SETBACK

**LIMIT OF PROJECT FOR  
SEPA REVIEW AND PERMITS**  
22,100 SQUARE FEET (0.50)

1  
L5  
SYNTHETIC TURF

EXISTING 26'X30' CXT RESTROOM  
BUILDING

EXISTING ASPHALT PAVING PLAZA

EXISTING MAINTENANCE BUILDING  
TO REMAIN

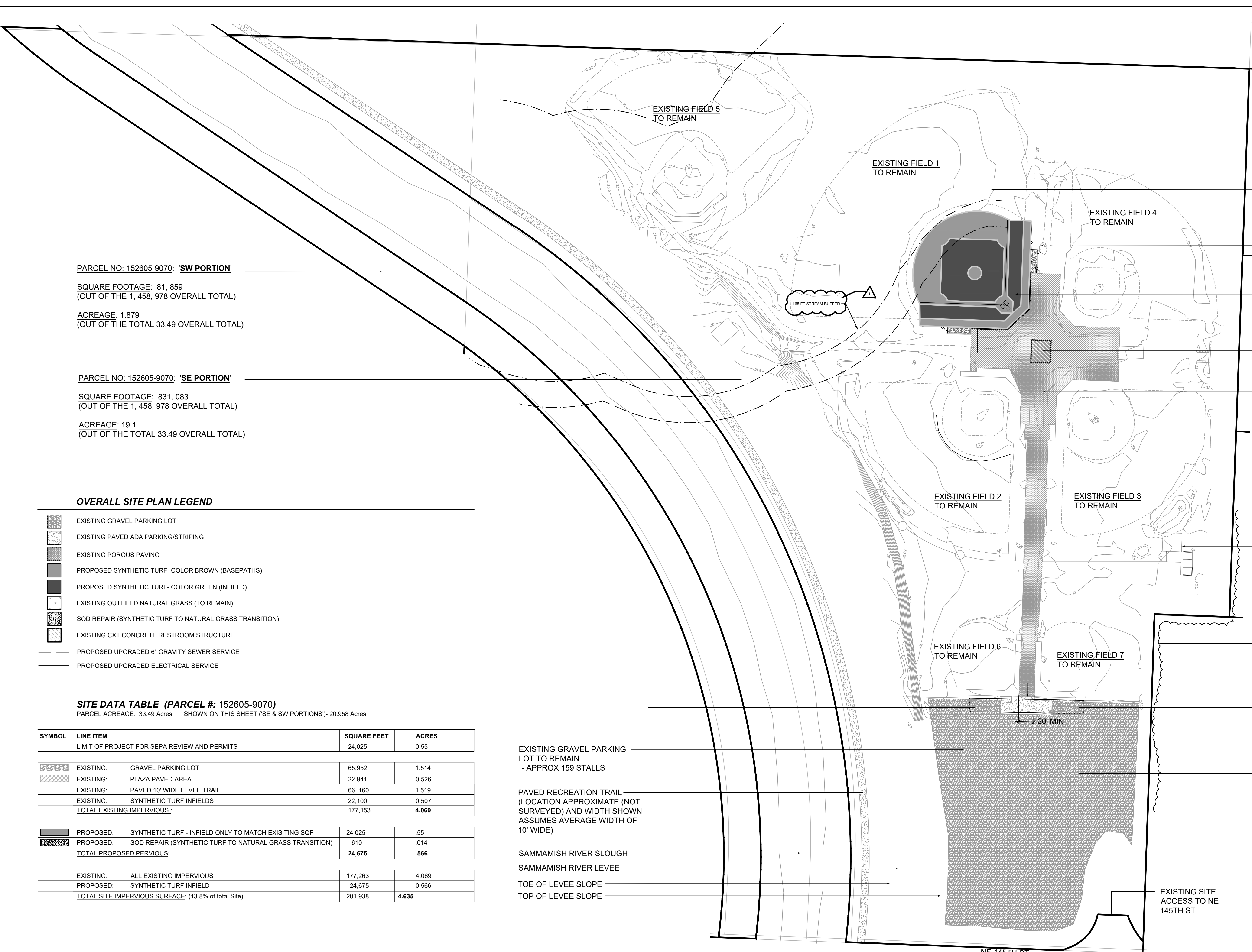
EXISTING VEGETATION ON  
ADJACENT PROPERTY TO REMAIN

FIRE ACCESS LANE TO REMAIN  
CLEAR

(4) ADA ACCESSIBLE  
PARKING SPACES - (PAVED)

EXISTING KING COUNTY  
PARKING LOT TO REMAIN

EXISTING SITE  
ACCESS TO NE  
145TH ST



PARCEL NO: 152605-9070: 'SW PORTION'  
SQUARE FOOTAGE: 81, 859  
(OUT OF THE 1, 458, 978 OVERALL TOTAL)  
ACREAGE: 1.879  
(OUT OF THE TOTAL 33.49 OVERALL TOTAL)

PARCEL NO: 152605-9070: 'SE PORTION'  
SQUARE FOOTAGE: 831, 083  
(OUT OF THE 1, 458, 978 OVERALL TOTAL)  
ACREAGE: 19.1  
(OUT OF THE TOTAL 33.49 OVERALL TOTAL)

**OVERALL SITE PLAN LEGEND**

- EXISTING GRAVEL PARKING LOT
- EXISTING PAVED ADA PARKING/STRIPING
- EXISTING POROUS PAVING
- PROPOSED SYNTHETIC TURF- COLOR BROWN (BASEPATHS)
- PROPOSED SYNTHETIC TURF- COLOR GREEN (INFIELD)
- EXISTING OUTFIELD NATURAL GRASS (TO REMAIN)
- SOD REPAIR (SYNTHETIC TURF TO NATURAL GRASS TRANSITION)
- EXISTING CXT CONCRETE RESTROOM STRUCTURE
- PROPOSED UPGRADED 6" GRAVITY SEWER SERVICE
- PROPOSED UPGRADED ELECTRICAL SERVICE

**SITE DATA TABLE (PARCEL #: 152605-9070)**

PARCEL ACREAGE: 33.49 Acres SHOWN ON THIS SHEET ('SE & SW PORTIONS')- 20.958 Acres

SYMBOL	LINE ITEM	SQUARE FEET	ACRES
	LIMIT OF PROJECT FOR SEPA REVIEW AND PERMITS	24,025	0.55
	EXISTING: GRAVEL PARKING LOT	65,952	1.514
	EXISTING: PLAZA PAVED AREA	22,941	0.526
	EXISTING: PAVED 10' WIDE LEVEE TRAIL	66,160	1.519
	EXISTING: SYNTHETIC TURF INFIELDS	22,100	0.507
	<b>TOTAL EXISTING IMPERVIOUS:</b>	<b>177,153</b>	<b>4.069</b>
	PROPOSED: SYNTHETIC TURF - INFIELD ONLY TO MATCH EXISTING SQF	24,025	.55
	PROPOSED: SOD REPAIR (SYNTHETIC TURF TO NATURAL GRASS TRANSITION)	610	.014
	<b>TOTAL PROPOSED PERVIOUS:</b>	<b>24,675</b>	<b>.566</b>
	EXISTING: ALL EXISTING IMPERVIOUS	177,263	4.069
	PROPOSED: SYNTHETIC TURF INFIELD	24,675	0.566
	<b>TOTAL SITE IMPERVIOUS SURFACE: (13.8% of total Site)</b>	<b>201,938</b>	<b>4.635</b>

EXISTING GRAVEL PARKING  
LOT TO REMAIN  
- APPROX 159 STALLS

PAVED RECREATION TRAIL  
(LOCATION APPROXIMATE (NOT  
SURVEYED) AND WIDTH SHOWN  
ASSUMES AVERAGE WIDTH OF  
10' WIDE)

SAMMAMISH RIVER SLOUGH

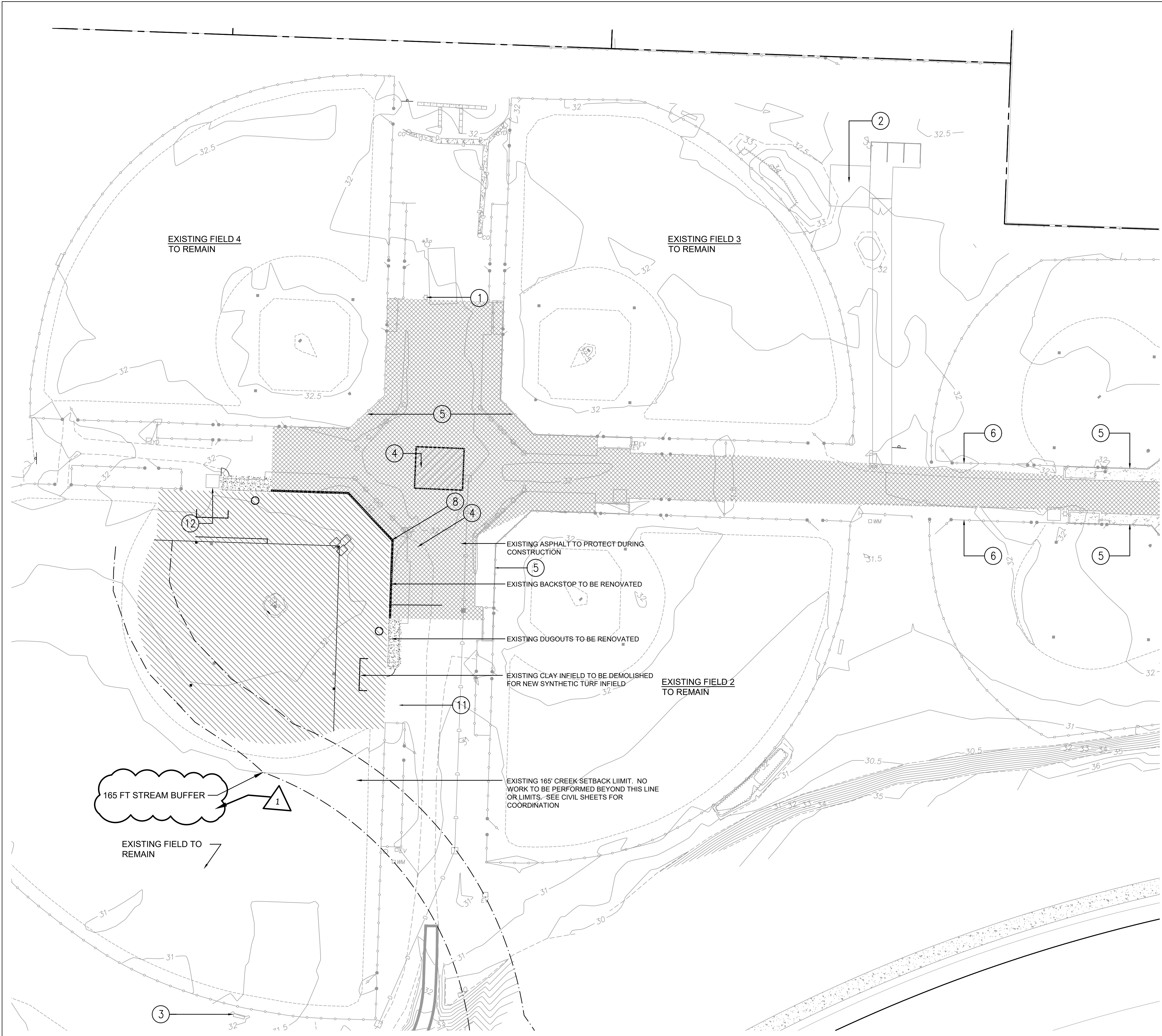
SAMMAMISH RIVER LEVEE

TOE OF LEVEE SLOPE

TOP OF LEVEE SLOPE

**OVERALL SITE PLAN**  
SCALE: 1"=60'-0"

**PERMIT RESUBMITTAL 2-18-2022**



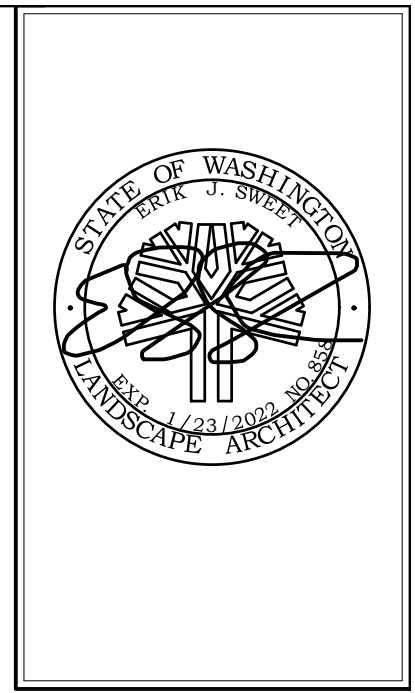
- DEMOLITION/TEC LEGEND**
- PARCEL LINE (PROPERTY LINE)
  - PROPOSED LIMIT OF WORK
  - LIMITS OF FIELD RENOVATION
  - x- EXISTING FENCE TO REMOVE
  - [Hatched Box] EXISTING INFIELD TO BE STRIPPED AND HAULED OFF SITE; LIMIT OF WORK TO MATCH SURFACE LAYOUT PLAN & 3' SEED REPAIR OFFSET OF TURF EDGE
  - [Cross-hatched Box] EXISTING ASPHALT TO PROTECT

- DEMOLITION/TEC NOTES**
- ① EXISTING LIGHT POLES TO REMAIN AND TO BE PROTECTED DURING CONSTRUCTION.
  - ② EXISTING RESTROOM BUILDING TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.
  - ③ EXISTING SCOREBOARD IN LEFT CENTER TO REMAIN AND TO BE PROTECTED DURING CONSTRUCTION.
  - ④ EXISTING ASPHALT PAVEMENT TO BE PROTECTED. CONTRACTOR SHALL TAKE PICTURES OF ALL AREAS THAT MAY APPEAR DAMAGED AND NOTIFY LANDSCAPE ARCHITECT
  - ⑤ EXISTING BACKSTOP FENCE TO REMAIN AND TO BE PROTECTED DURING CONSTRUCTION.
  - ⑥ EXISTING SIDELINE FENCE/GATES TO REMAIN AND TO BE PROTECTED DURING CONSTRUCTION.
  - ⑦ STRIP AND DISPOSE OF EXISTING NATURAL GRASS FIELDS WHERE NOTED.
  - ⑧ SAWCUT, REMOVE AND DISPOSE OF EXISTING PAVING AS INDICATED
  - ⑨ WHERE NOTED, ADJUST LOCATION OF IRRIGATION HEADS TO NEW EDGE OF SYNTHETIC TURF SYSTEM. COORDINATE WITH OWNERS MAINTENANCE STAFF.
  - ⑩ ANY DAMAGE TO THE AFOREMENTIONED "EXISTING ITEMS" NOTED "TO REMAIN AND BE PROTECTED DURING CONSTRUCTION" TO BE REPLACED AT EQUAL/GREATER VALUE AT CONTRACTOR'S EXPENSE.
  - ⑪ CONTRACTOR TO PROTECT EXISTING SEPTIC TANKS AND SYSTEM ADJACENT TO DUGOUT

- NOTES**
1. SEE SHEET L0 FOR PROJECT LIMITS FOR PERMITS.
  2. CONTRACTOR TO CLEARLY MARK STREAMWETLAND BUFFER AND LEAVE UP FOR LENGTH OF PROJECT.
  3. CONTRACTOR TO TURN OVER IRRIGATION HEADS AND BASES TO OWNER
  4. COORDINATE NEW CURBING AND INSTALLATION OF BACKSTOP WITH SYNTHETIC TURF CONTRACTOR FOR ATTACHMENT AND INSTALLATION
  5. EXISTING ASPHALT ACCESS FROM THE EXISTING GRAVEL PARKING LOT SHALL BE RESTORED IF NEEDED AFTER CONSTRUCTION.
  6. CONTRACTOR SHALL PROTECT EXISTING ADA PARKING AT ENTRANCE OF PARK. RESTRIPE EXISTING ASPHALT OF CONSTRUCTION EFFECTS ADA PAINTED LINES MARKS AND LOGOS.
  7. CONTRACTOR SHALL CALL LOCATE FOR ELECTRICAL ON SITE PRIOR TO START OF WORK.
  8. CONTRACTOR TO REVIEW SEPTIC AS-BUILT DRAWINGS TO PROTECT ALL SEPTIC LINES.

(Note to Engineer: This approval signature block not required for cover page.)

KING COUNTY DDES APPROVAL	
Review Engineer	Date
Senior Engineer	Date
Molly A. Johnson, P.E. DEVELOPMENT ENGINEER	Date



**NORTHSHORE ATHLETIC FIELDS  
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NORTHSHORE ATHLETIC FIELDS CORPORATION  
14725 NE 145TH ST WOODINVILLE, WA 98072



Drawing:  
**DEMOLITION  
PLAN**

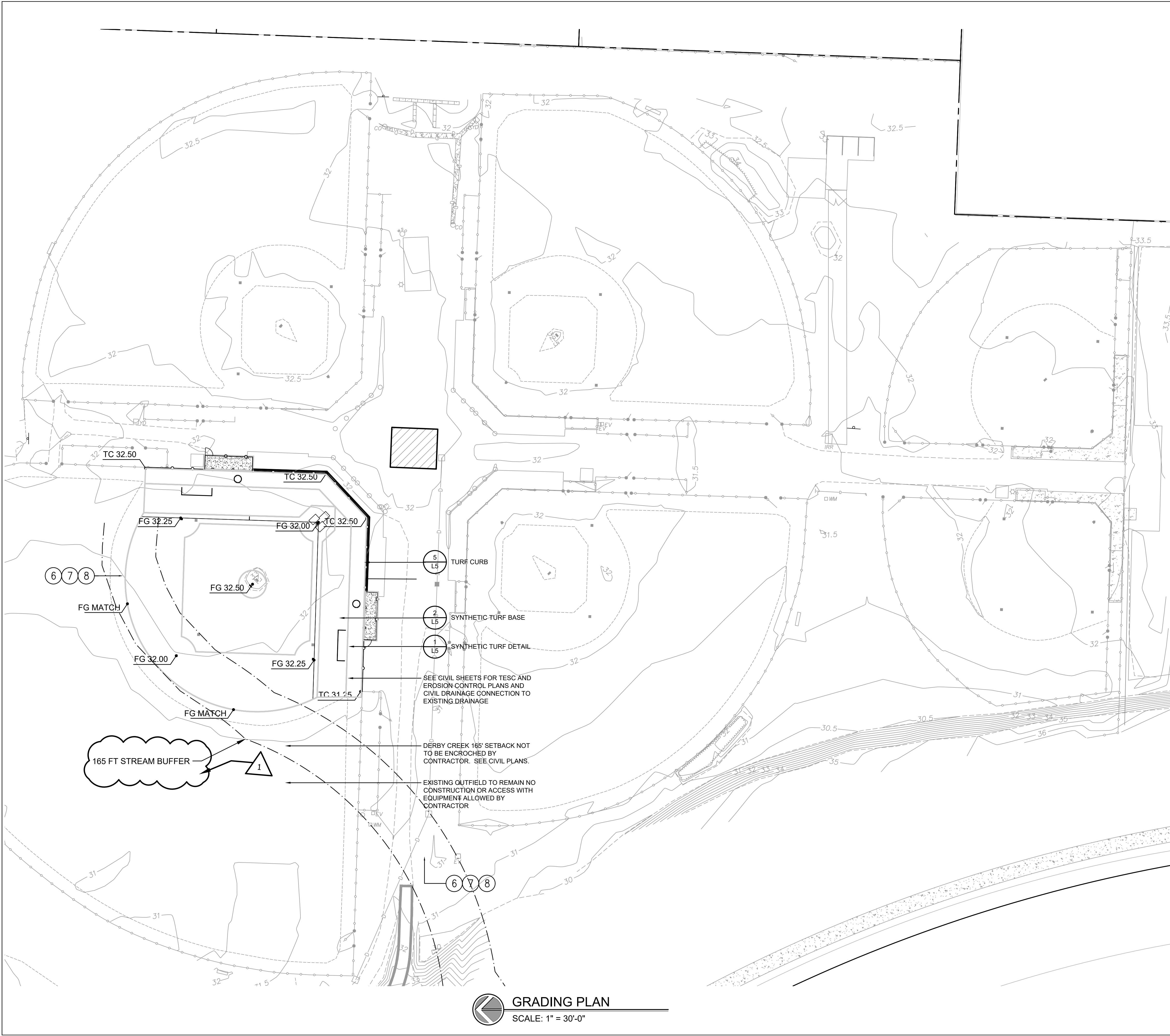
Date: 06/05/2020  
Job #: 20025  
Scale: NTS  
Design: EJSW  
Drawn: EJSW  
Check: MM  
Revisions:

△ PERMIT SET REVISIONS

Sheet:

**L1**

**DEMOLITION PLAN**  
SCALE: 1" = 30'-0"



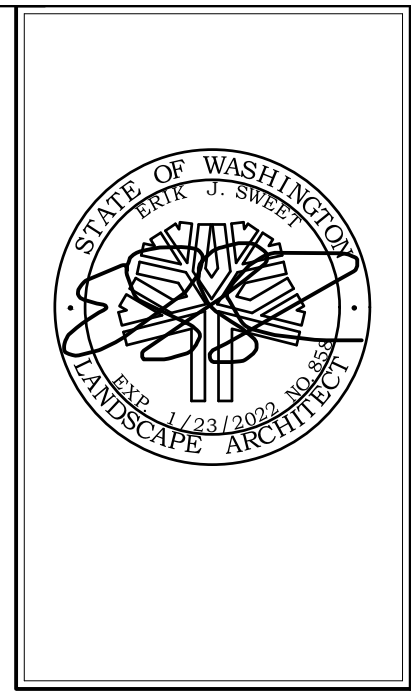
**GRADING PLAN**  
SCALE: 1" = 30'-0"

**GRADING LEGEND**

	PARCEL LINE (PROPERTY LINE)
	PROPOSED LIMIT OF WORK
	TC 42.15 TOP OF CURB SPOT ELEVATION
	FG 46.00 FINISH GRADE SPOT ELEVATION
	SG 46.00 SUB GRADE SPOT ELEVATION
	S = 0.33% PERCENT OF SLOPE OF FINISH GRADE OR PIPE
	DIRECTION OF SLOPE

- GRADING NOTES**
- ① HORIZONTAL CONTROL FOR NORTHINGS AND EASTINGS IS BASED ON THE SURVEY COMPLETED BY EASTSIDE CONSULTANTS. SEE EXISTING SURVEY SHEETS FOR THE CONTROL POINTS.
  - ② FIELD SHALL BE GRADED AT A CONSISTENT SLOPE NOT LESS THAN 0.75% AS INDICATED ON DRAWINGS.
  - ③ NOTIFY DESIGNER OF RECORD OF ANY SOFT SUBSOILS WHILE GRADING.
  - ④ HORIZONTAL CONTROL AND ALL GRADING IS BASED UPON THE APEX OF HOMEPLATE.
  - ⑤ ALL CONCRETE CURBING SHALL BE INSTALLED AND ALLOWED TO PROPERLY CURE PRIOR TO NAILER PLACEMENT.
  - ⑥ GRADE ALL AREAS OUTSIDE OF FIELD IN TRANSITION AREA AT A CONSISTENT GRADE.
  - ⑦ ALL AREAS OUTSIDE FIELD TO RECEIVED 2" DEPTH OF TOPSOIL.
  - ⑧ PLACE SOD 10' FROM CONCRETE CURBING. ALL OTHER AREAS OF DISTURBANCE CAN BE SEEDED.

- NOTES**
1. CONTRACTOR SHALL NOT ENCROACH INTO 165' DERBY CREEK SETBACK AREA DURING CONSTRUCTION.
  2. CONTRACTOR SHALL SEE AND MAINTAIN ALL TESC AND CONSTRUCTION FENCE PER CIVIL PLANS AND INSTALL ORANGE CONSTRUCTION FENCE AT CREEK SETBACK LIMITS.
  3. ALL CONSTRUCTION GRADING TO BE COMPLETED BY MEANS OF AUTOMATED DOZER AND LASER CONTROL BY SPORTS FIELD SPECIALTY CONTRACTOR.
  4. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT AND CIVIL ENGINEER OF ANY DISCREPANCIES IN GRADING PLAN.
  5. CONTRACTOR SHALL REMOVE ANY AND ALL CONSTRUCTION DEBRIS FROM THE FIELD AREAS AND MAINTAIN A CLEAN SITE ON ALL EXISTING ASPHALT FOR USAGE OF FACILITY BY OWNER.
  6. FOLLOW ALL CLEARING AND GRADING PERMIT REQUIREMENTS FROM KING COUNTY.



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**SANDERSON  
STEWART**  
Enduring Community Design

Drawing:  
**GRADING  
PLAN**

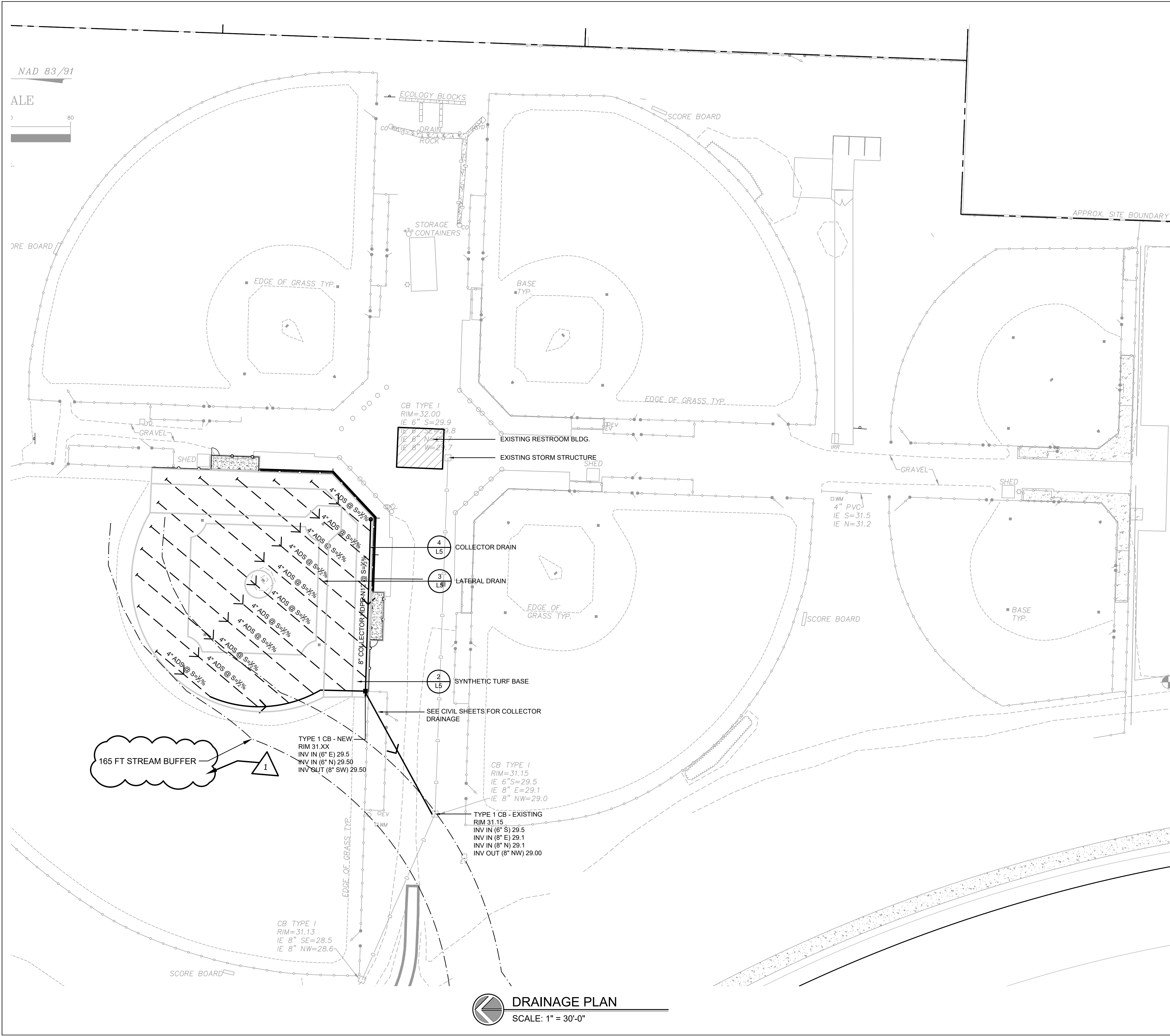
Date: 06/05/2020  
Job #: 20025  
Scale: 1"=30'-0"  
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Check: MM  
Revisions:

PERMIT SET REVISIONS

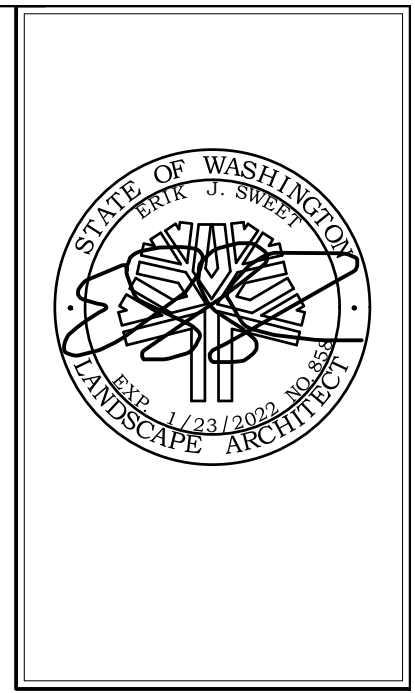
(Note to Engineer: This approval signature block not required for cover page.)

KING COUNTY DDES APPROVAL	
Review Engineer	Date
Senior Engineer	Date
Molly A. Johnson, P.E. DEVELOPMENT ENGINEER	Date

Sheet:  
**L2**  
7 OF 13



- DRAINAGE LEGEND**
- PARCEL LINE (PROPERTY LINE)
  - PROPOSED LIMIT OF WORK
  - COLLECTOR PIPE CONNECTED TO EXISTING STORM WATER BASIN
  - FIELD DRAIN LATERAL- TYP
  - EXISTING CATCH BASIN
  - CATCH BASIN
  - COLLECTOR DRAIN CLEAN OUT
  - S = 0.33% PERCENT OF SLOPE OF FINISH GRADE OR PIPE



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Drawing:  
**DRAINAGE  
PLAN**

Date: 06/05/2020  
Job #: 20025  
Scale: 1"=30'-0"  
Design: EJSW  
Drawn: JWC  
Check: MM  
Revisions:

△ PERMIT SET REVISIONS

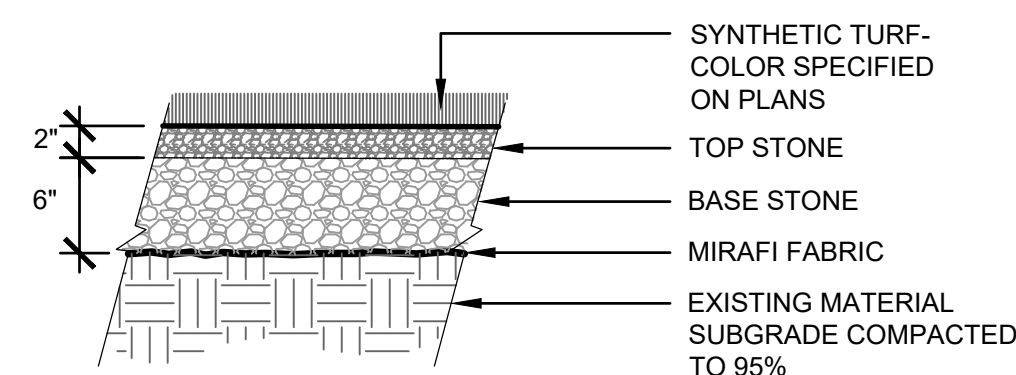
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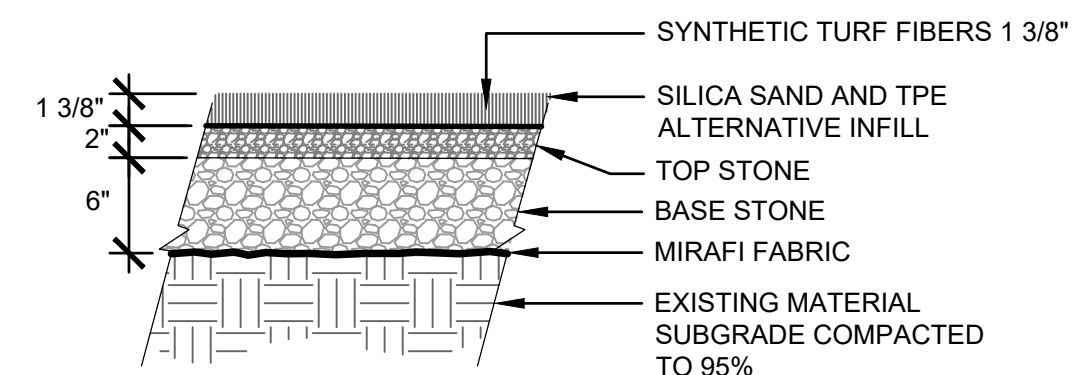
KING COUNTY DDES APPROVAL	
Review Engineer	Date
Senior Engineer	Date
Molly A. Johnson, P.E. DEVELOPMENT ENGINEER	Date

**DRAINAGE PLAN**  
SCALE: 1" = 30'-0"

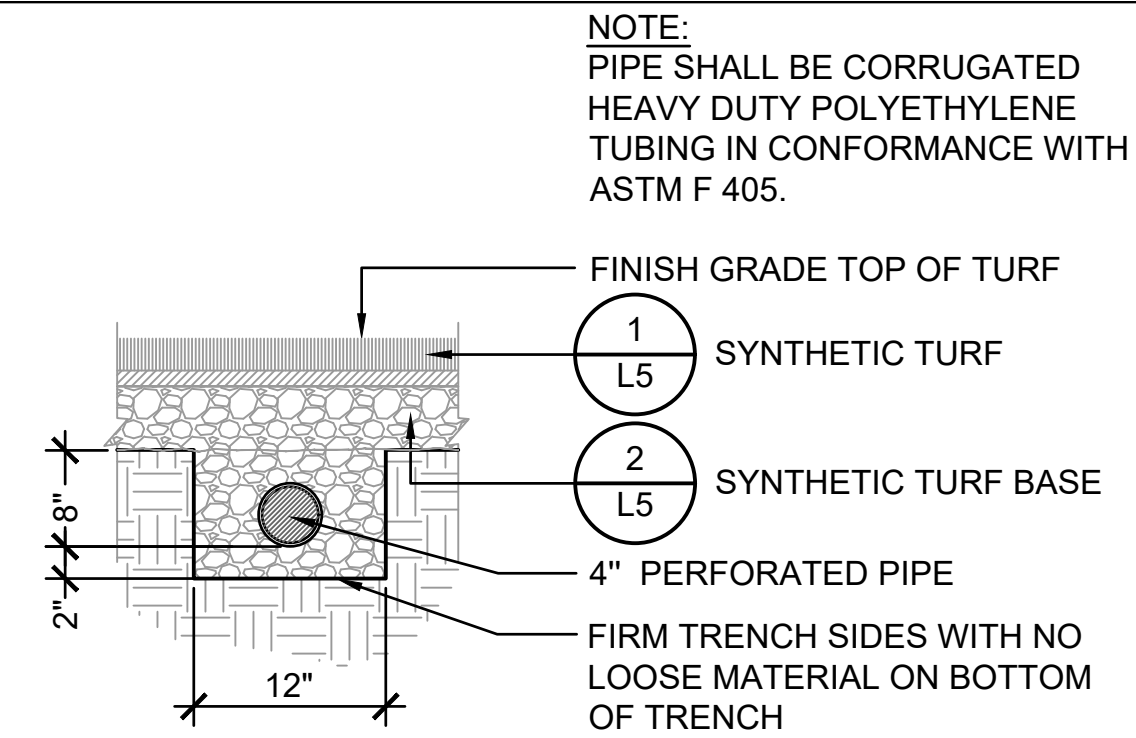




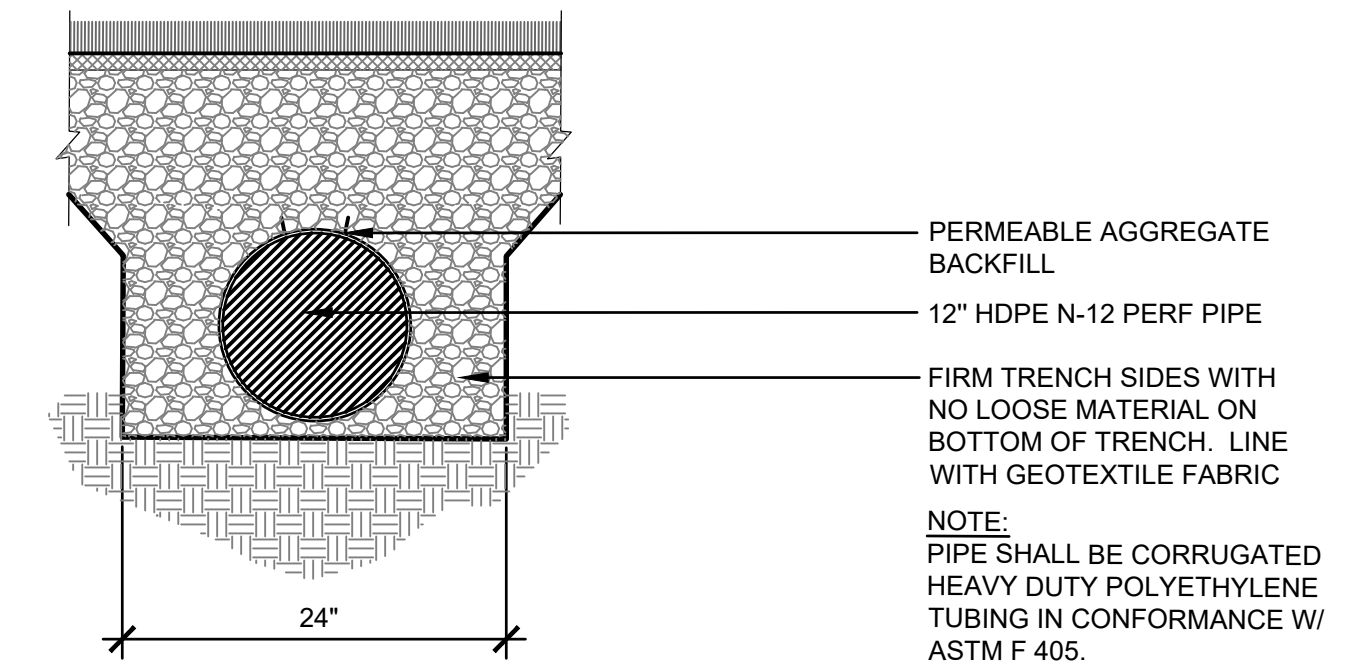
1 SYNTHETIC TURF DETAIL  
NTS



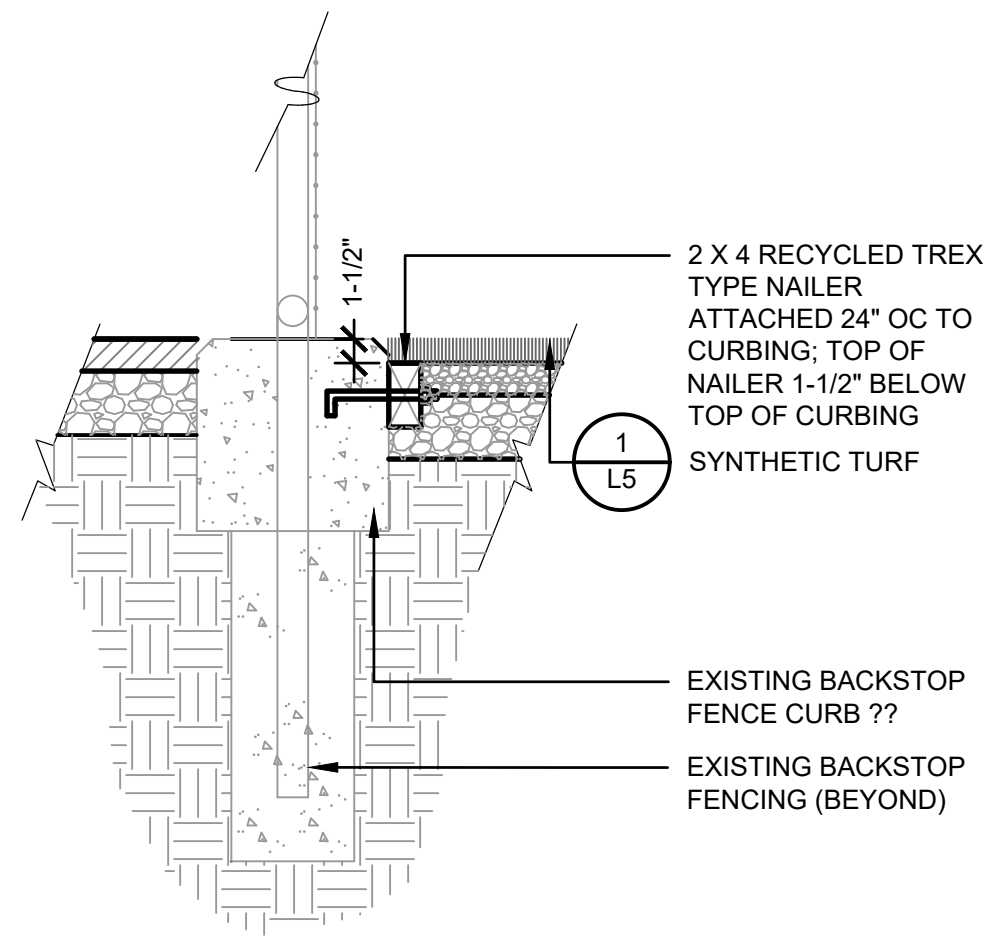
2 SYNTHETIC TURF BASE CROSS SECTION  
NTS



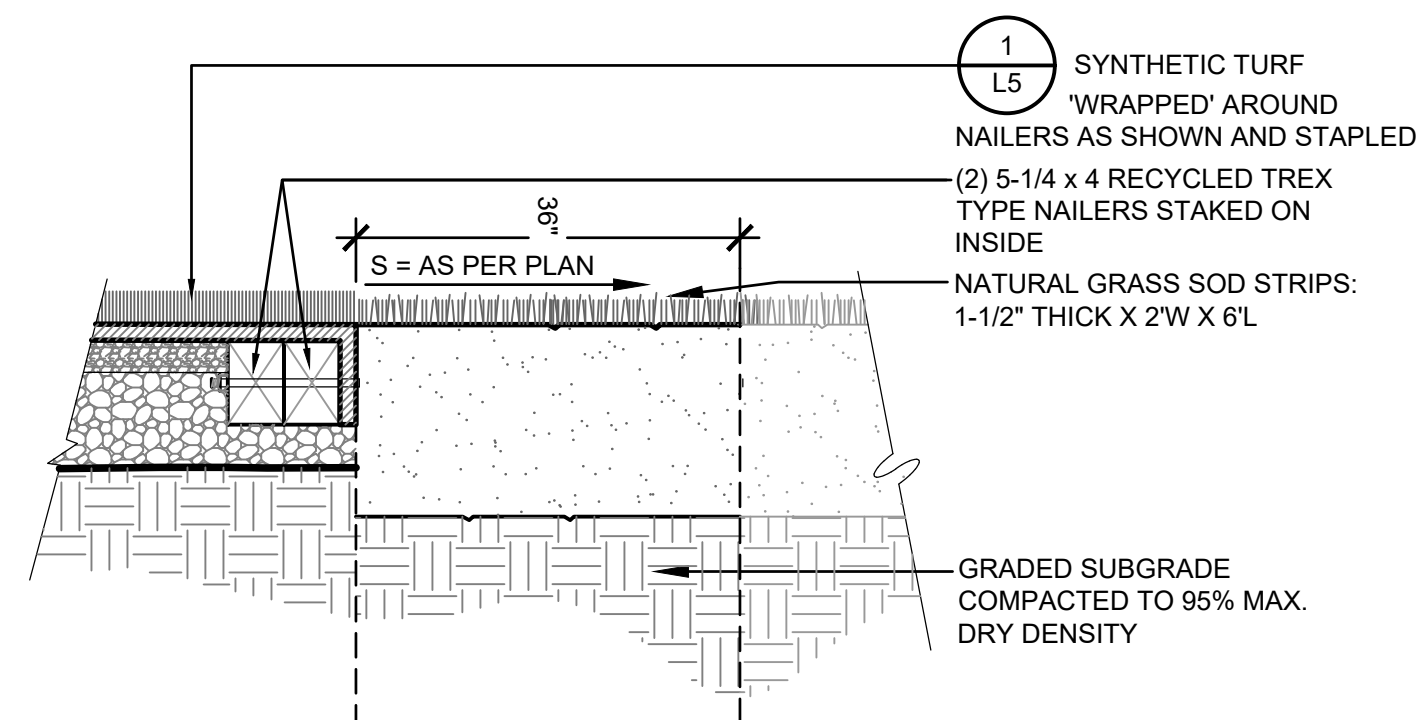
3 LATERAL DRAIN LINE  
NTS



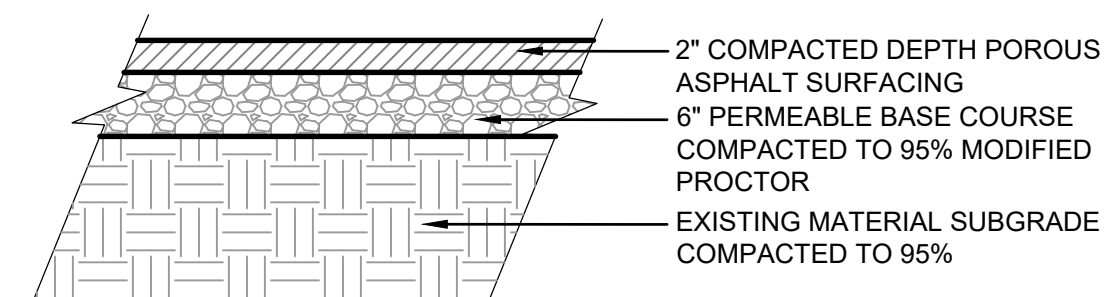
4 COLLECTOR DRAIN - SYNTHETIC TURF  
NTS



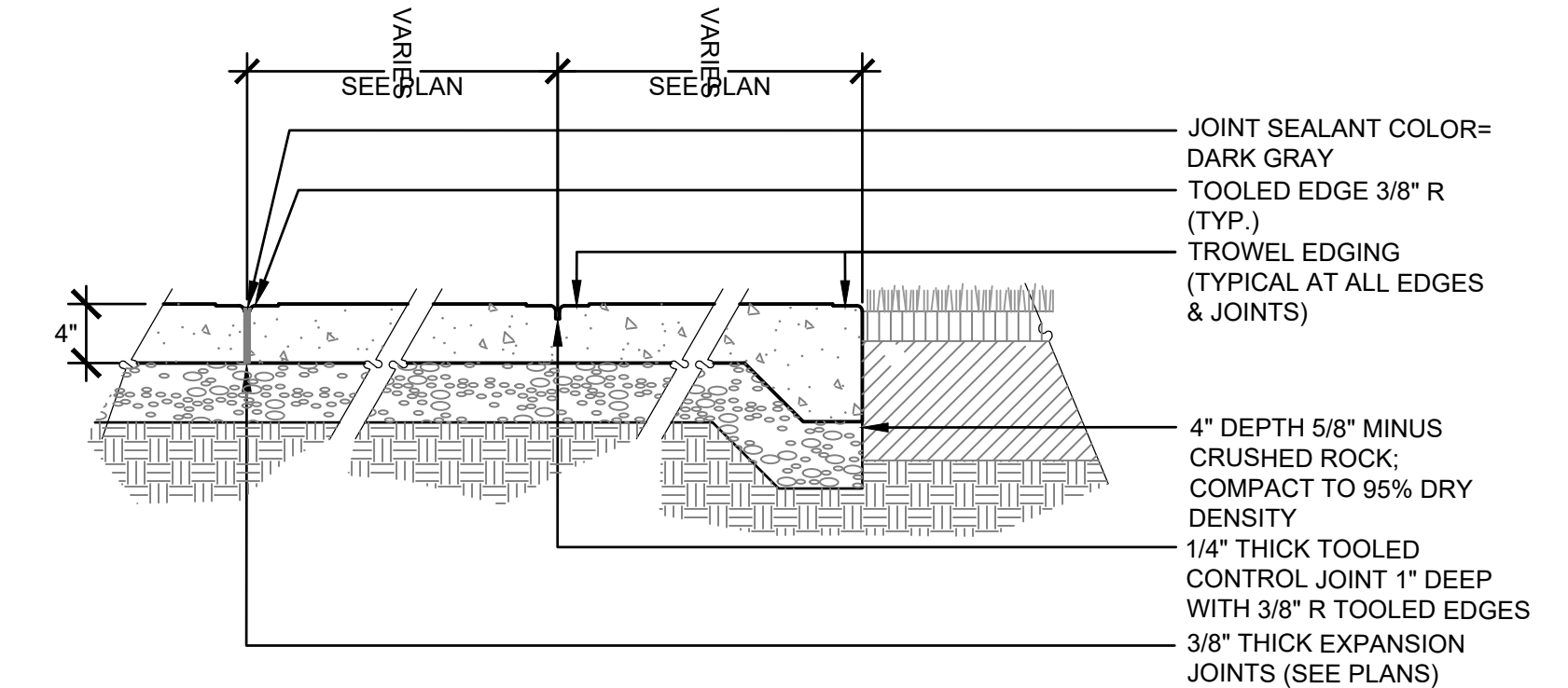
5 FENCE POST FOOTING - NON NET POST  
NTS



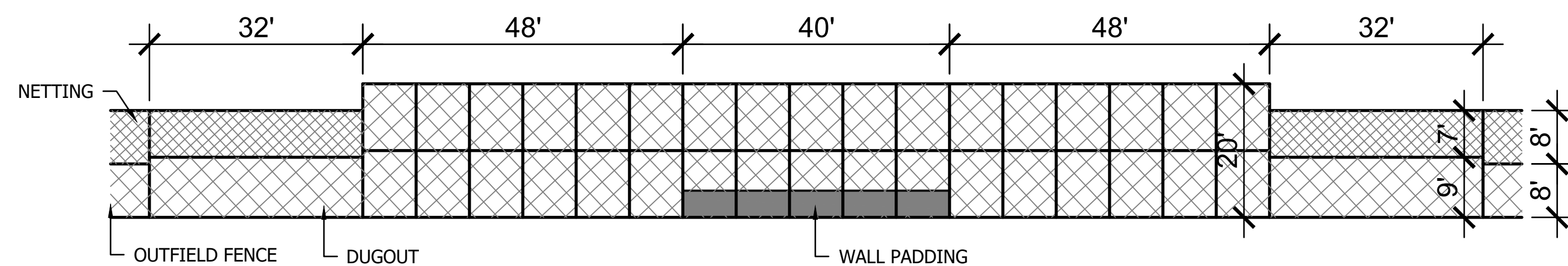
6 TURF ATTACHMENT - INFIELD RADIUS  
NTS



7 ASPHALT PATCH DETAIL  
NTS



8 CONCRETE PAVING & JOINT DETAILS  
NTS



9 BASEBALL BACKSTOP LAYOUT  
SCALE: NTS

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**SANDERSON  
STEWART**  
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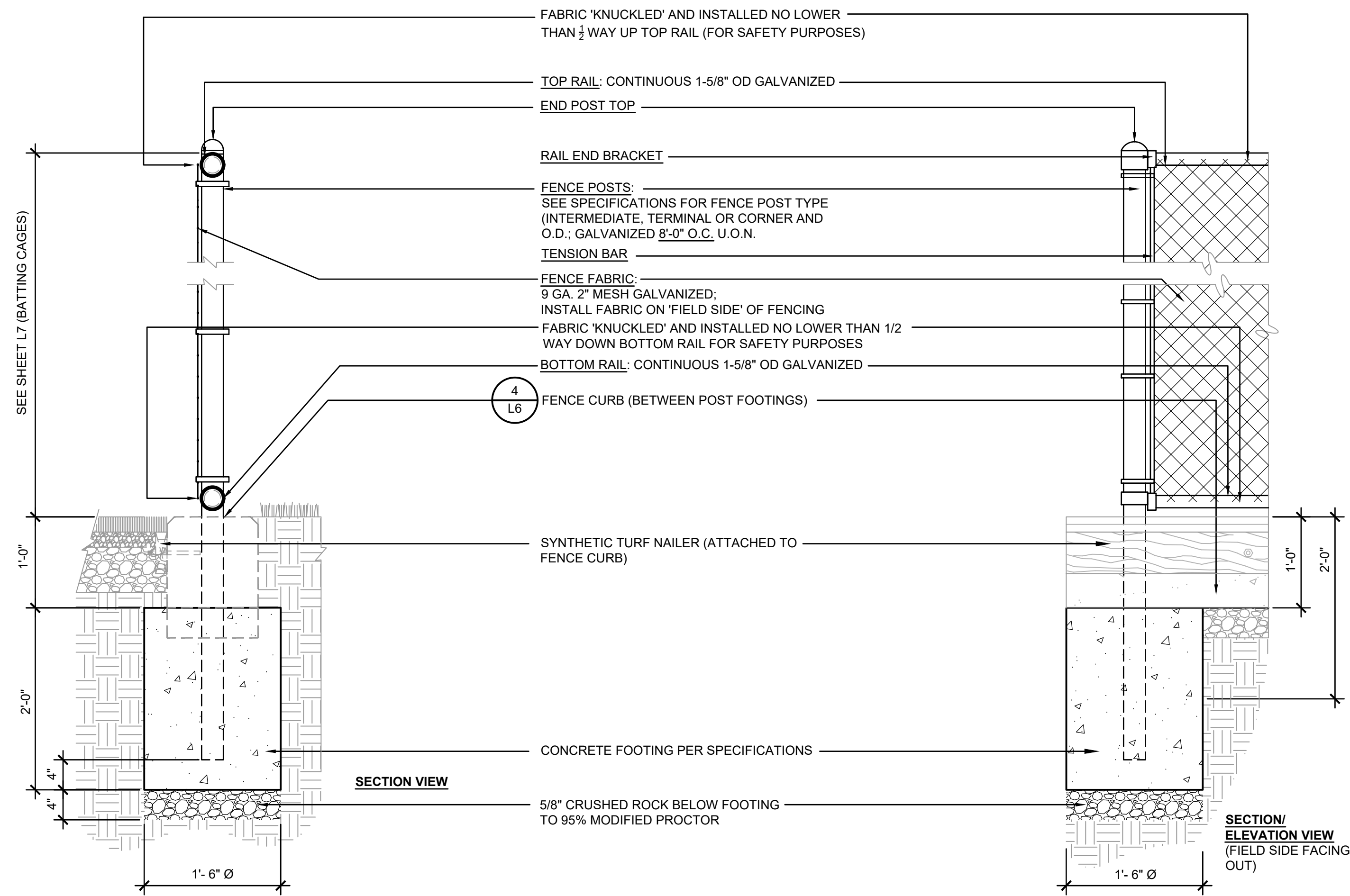
FIELD  
DETAILS

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Revisions:

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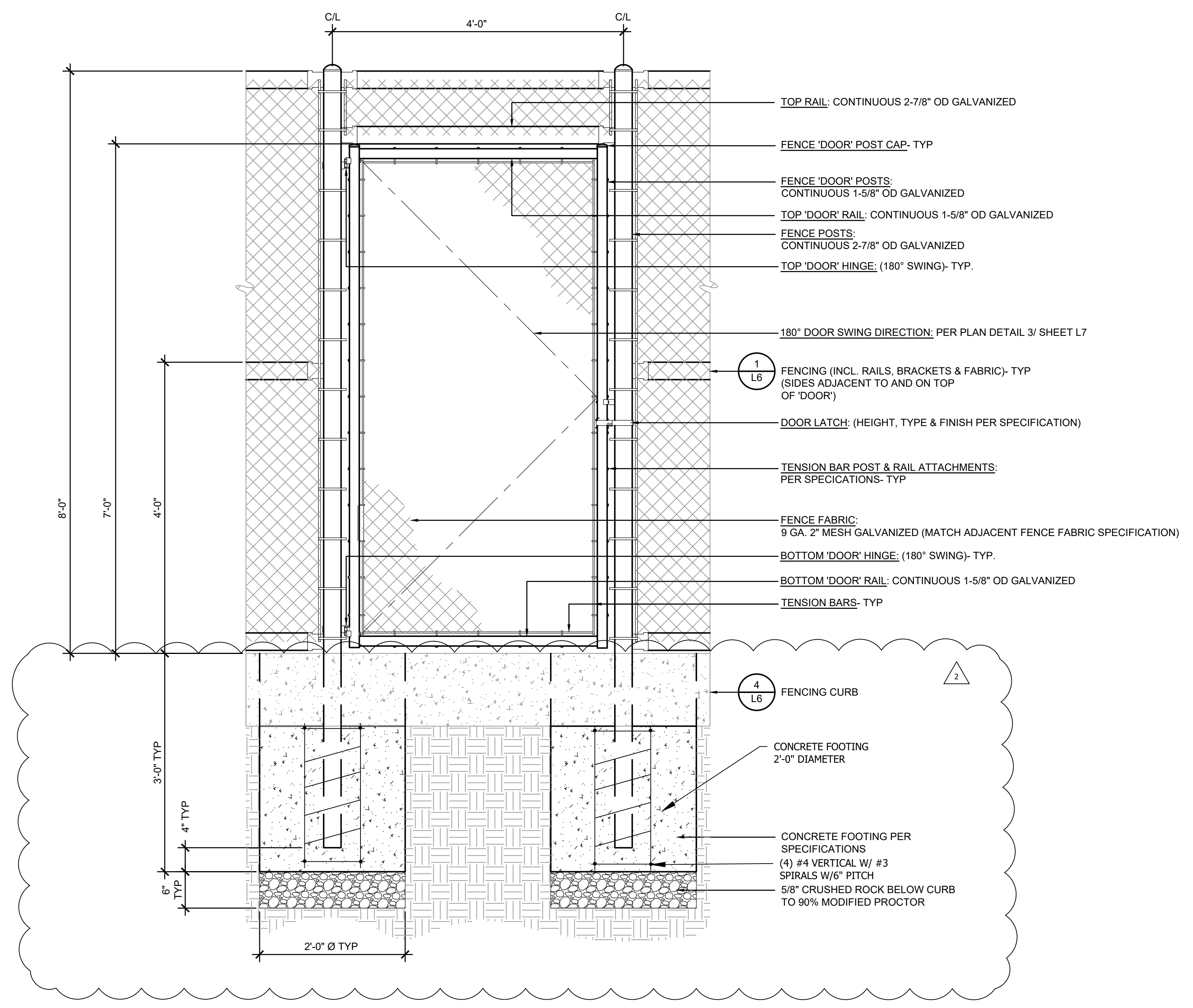
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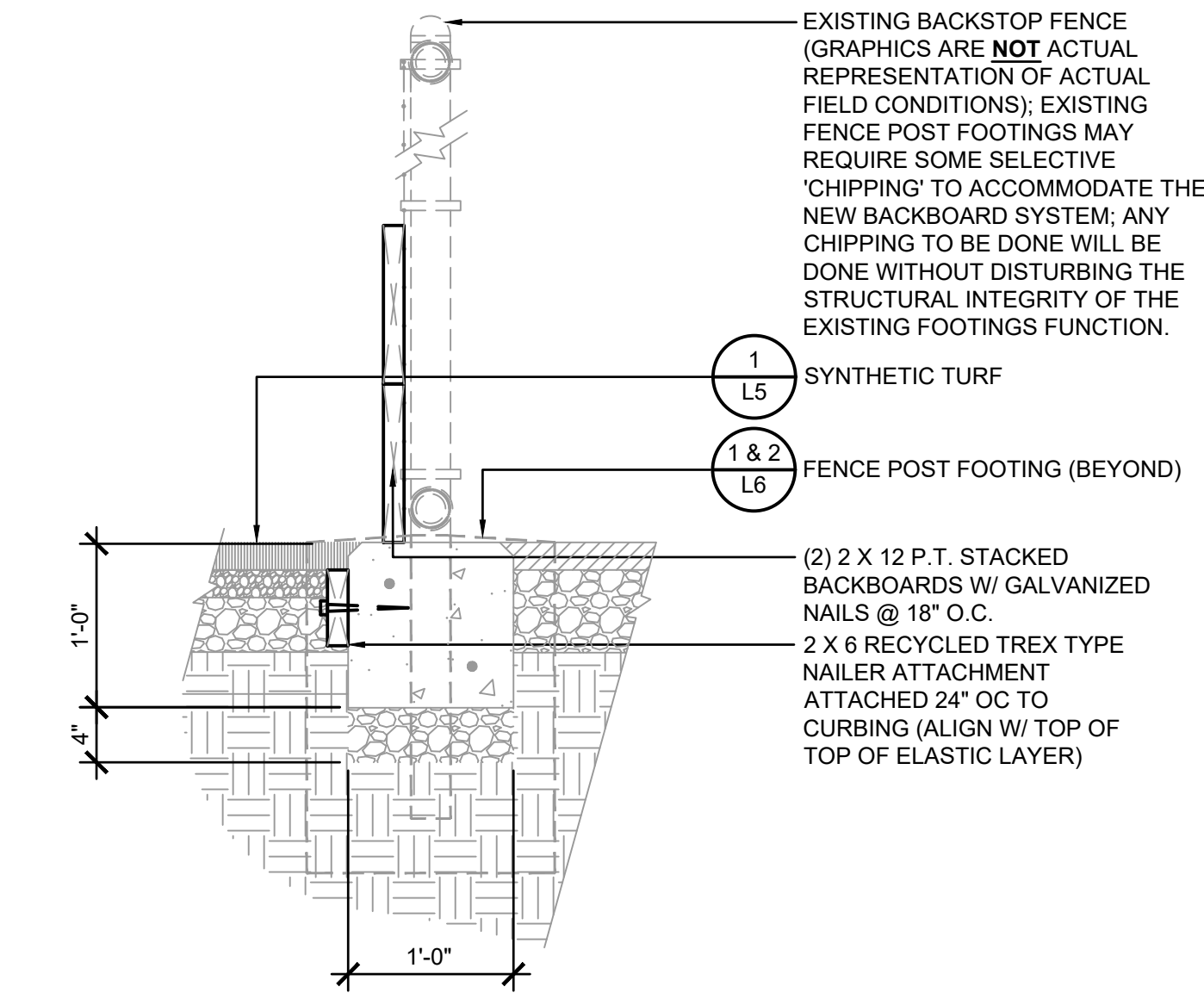


1 FENCE & FOOTING- SECTION & PLAN  
NTS

2 FENCE & FOOTING- SECT. /ELEV./ PLAN  
NTS



3 GATE & FOOTINGS- SECTION /ELEVATION  
NTS



4 NEW SYN. TURF NAILER @ EXISTING BACKSTOP FENCE & NEW 12"W CURB- SECTION  
NOT TO SCALE



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FIELD  
DETAILS

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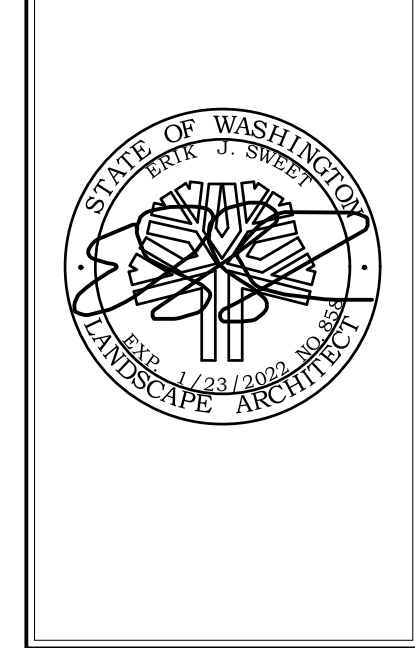
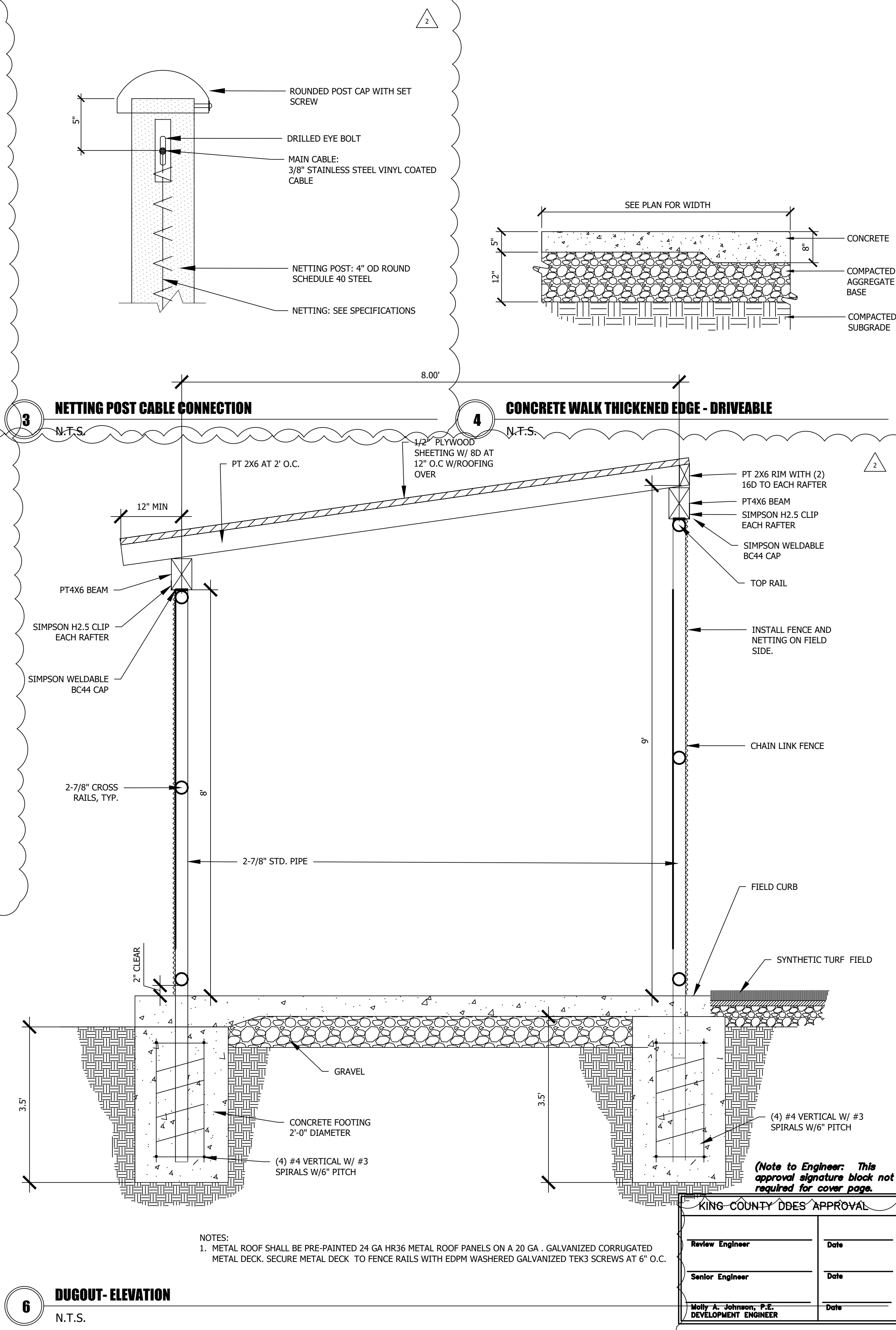
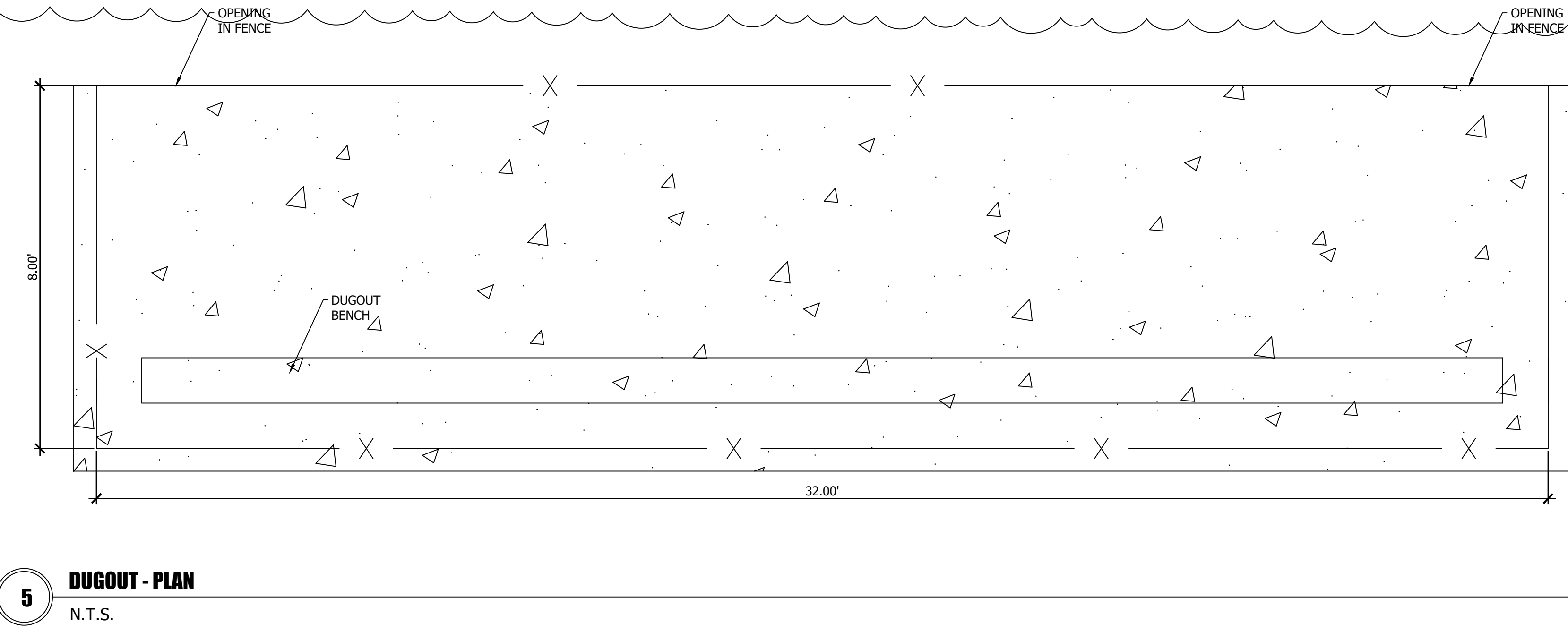
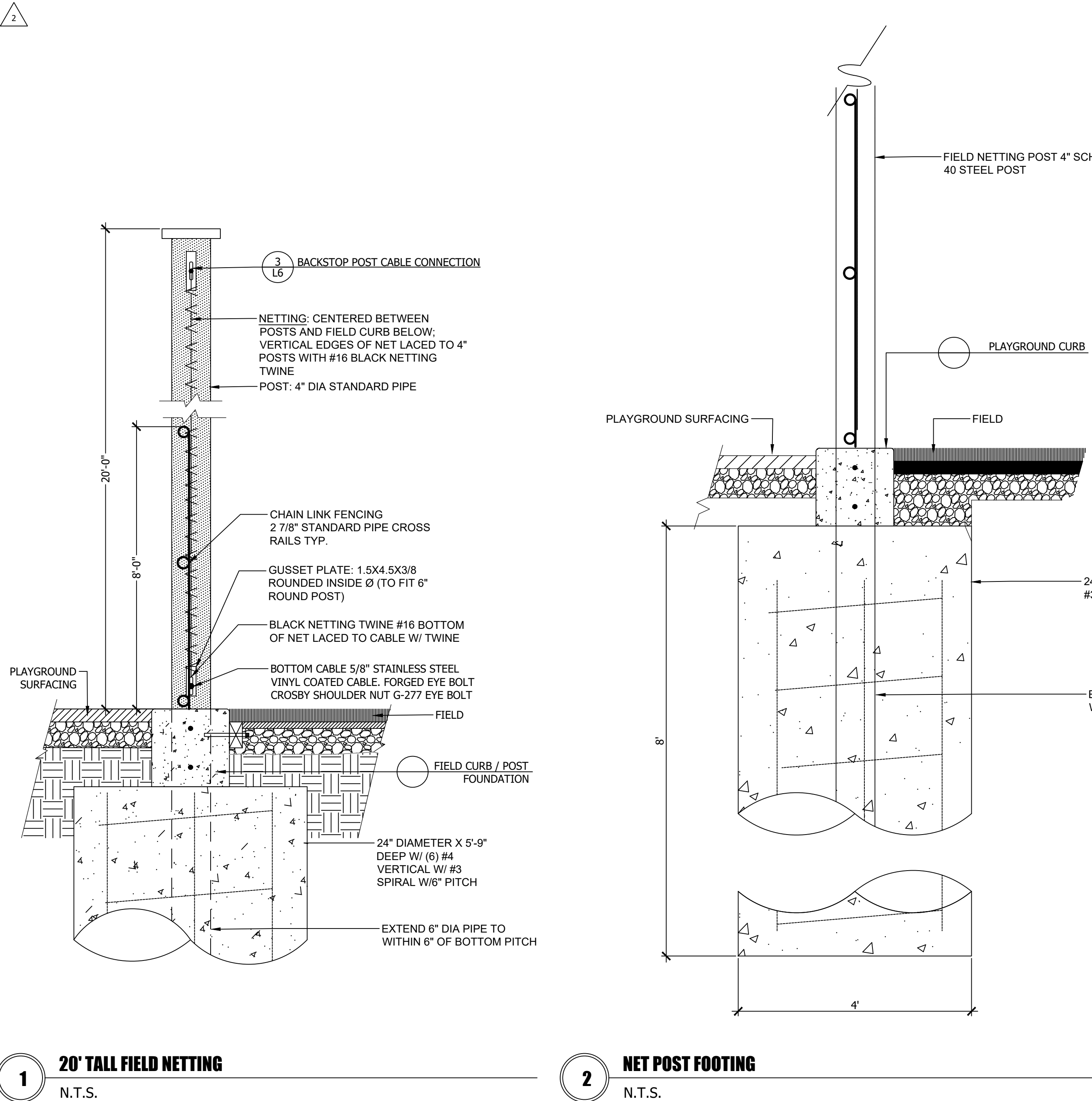
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KING COUNTY DDES APPROVAL	
Review Engineer	Date
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Drawing:  
**FIELD  
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Check:	MM
Revisions:	
1	PERMIT SET REVISIONS
2	PERMIT SET REVISIONS

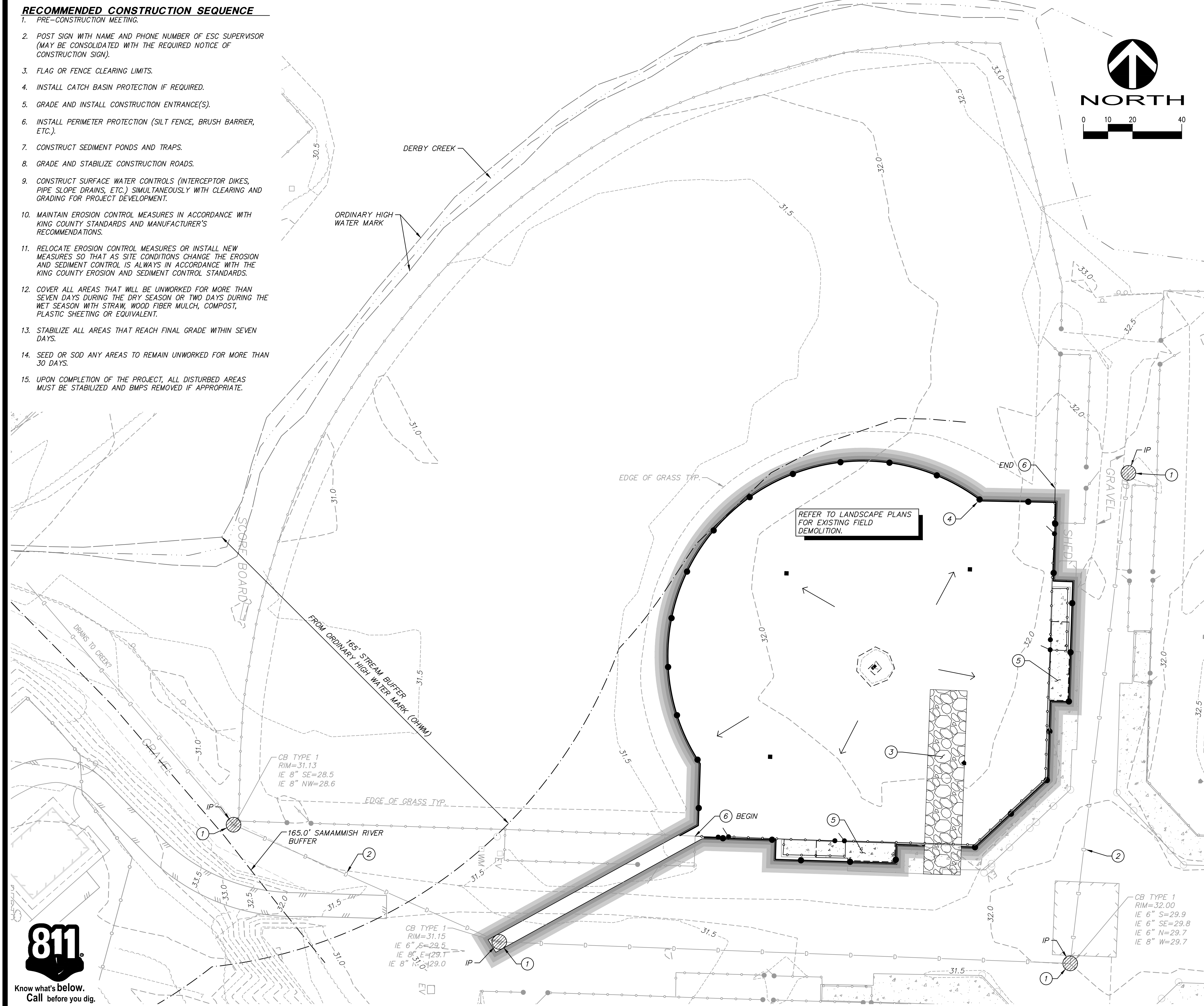
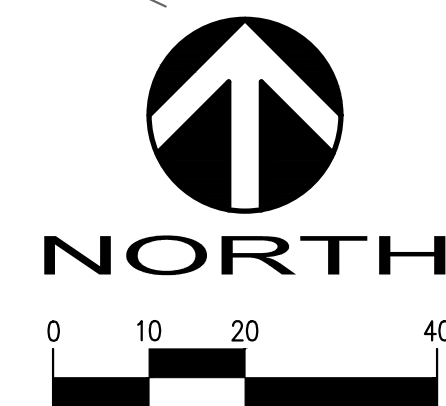
**KING COUNTY DDES APPROVAL**

Review Engineer	Date
Senior Engineer	Date
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Sheet:  
**L7**

**RECOMMENDED CONSTRUCTION SEQUENCE**

1. PRE-CONSTRUCTION MEETING.
2. POST SIGN WITH NAME AND PHONE NUMBER OF ESC SUPERVISOR (MAY BE CONSOLIDATED WITH THE REQUIRED NOTICE OF CONSTRUCTION SIGN).
3. FLAG OR FENCE CLEARING LIMITS.
4. INSTALL CATCH BASIN PROTECTION IF REQUIRED.
5. GRADE AND INSTALL CONSTRUCTION ENTRANCE(S).
6. INSTALL PERIMETER PROTECTION (SILT FENCE, BRUSH BARRIER, ETC.).
7. CONSTRUCT SEDIMENT PONDS AND TRAPS.
8. GRADE AND STABILIZE CONSTRUCTION ROADS.
9. CONSTRUCT SURFACE WATER CONTROLS (INTERCEPTOR DIKES, PIPE SLOPE DRAINS, ETC.) SIMULTANEOUSLY WITH CLEARING AND GRADING FOR PROJECT DEVELOPMENT.
10. MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH KING COUNTY STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.
11. RELOCATE EROSION CONTROL MEASURES OR INSTALL NEW MEASURES SO THAT AS SITE CONDITIONS CHANGE THE EROSION AND SEDIMENT CONTROL IS ALWAYS IN ACCORDANCE WITH THE KING COUNTY EROSION AND SEDIMENT CONTROL STANDARDS.
12. COVER ALL AREAS THAT WILL BE UNWORKED FOR MORE THAN SEVEN DAYS DURING THE DRY SEASON OR TWO DAYS DURING THE WET SEASON WITH STRAW, WOOD FIBER MULCH, COMPOST, PLASTIC SHEETING OR EQUIVALENT.
13. STABILIZE ALL AREAS THAT REACH FINAL GRADE WITHIN SEVEN DAYS.
14. SEED OR SOD ANY AREAS TO REMAIN UNWORKED FOR MORE THAN 30 DAYS.
15. UPON COMPLETION OF THE PROJECT, ALL DISTURBED AREAS MUST BE STABILIZED AND BMPs REMOVED IF APPROPRIATE.



**LEGAL DESCRIPTION**

POR OF S 1/2 OF SW 1/4 LESS POR LYING WLY OF E LN OF SAMM WATERWAY LESS E 287.15 FT LESS E 387.15 FT OF S 485 FT LESS RD TOW 100 FT STRIP ELY OF & CONCENTRIC TO ELY LN OF SAMM WATERWAY IN N 1/2 & NW 1/4 OF SE 1/4 OF SD SEC TOW POR SD SE 1/4 ELY OF & CONCENTRIC WITH & 50 FT WLY OF SWLY LN OF SAMM WATERWAY LESS POR SD 50 FT STRIP LYING NLY OF SLY LN OF LOT 2 OF KCSP 1281011 REC #8203120543 LESS RD LESS P/L R/W LESS POR PER REC #20100211000595 EXEMPT FROM THE SOUND TRANSIT/RTA PROPERTY TAXES PER SB 6475

**TESC/DEMO LEGEND**

	INLET PROTECTION	1 C1.1
	CLEARING LIMITS	
	CONSTRUCTION ENTRANCE	2 C1.1
	CEMENT CONCRETE REMOVAL	
	EXISTING FLOW DIRECTION	
	FULL DEPTH SAWCUT (TYP)	
	SILT FENCE	3 C1.1

**TESC/DEMO KEY NOTES:**

- 1 CATCH BASIN INLET SEDIMENT PROTECTION.
- 2 PROTECT ALL EXISTING UTILITIES UNLESS OTHERWISE NOTED.
- 3 STABILIZED CONSTRUCTION ENTRANCE.
- 4 INSTALL SILT FENCE.
- 5 REMOVE APPROXIMATELY 470 Sq. Ft TOTAL OF EXISTING CEMENT CONCRETE.
- 6 REMOVE EXISTING FENCING.

**CLEARING TABLE:**

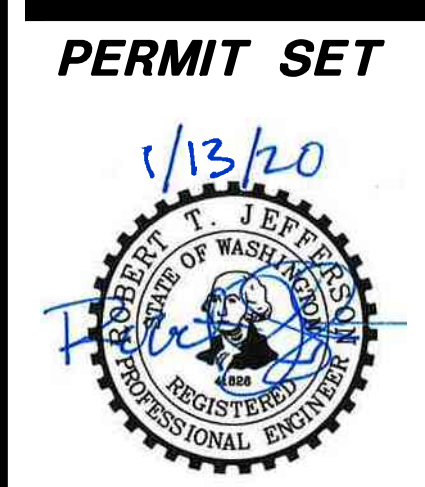
AREA TO BE CLEARED: 19,414 Sq. Ft. - 13.3%  
 TOTAL SITE AREA: 1,458,979 Sq. Ft. - 100%  
 (UNDISTURBED)

**DEMOLITION NOTES**

1. DEMOLISH ALL ITEMS WITHIN CLEARING LIMITS EXCEPT AS NOTED.
2. CONTRACTOR TO LOCATE ALL EXISTING UTILITIES AND PROTECT ALL UTILITIES NECESSARY TO SUPPORT CONTINUED OPERATIONS.
3. CONTRACTOR TO CONFIRM INVERT ELEVATIONS.

LOCATIONS OF EXISTING FEATURES ARE BASED ON SURVEY PROVIDED BY EASTSIDE CONSULTANTS, INC. DATED DECEMBER 2013. ADDITIONAL SURVEY OF DERBY CREEK AND BUFFERS PROVIDED BY PARAMETRIX. DATE OF SURVEY IS UNDETERMINED. CONTRACTOR TO CONFIRM EXISTING FEATURES, RIMS AND INVERT ELEVATIONS PRIOR TO STARTING WORK.

REVIEWED BY:	MAP	DATE	NO.	REVISION
BY:	CK			
DATE				



Plot Date: 1/13/2020 2:47 PM  
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 By: Michael Stewart  
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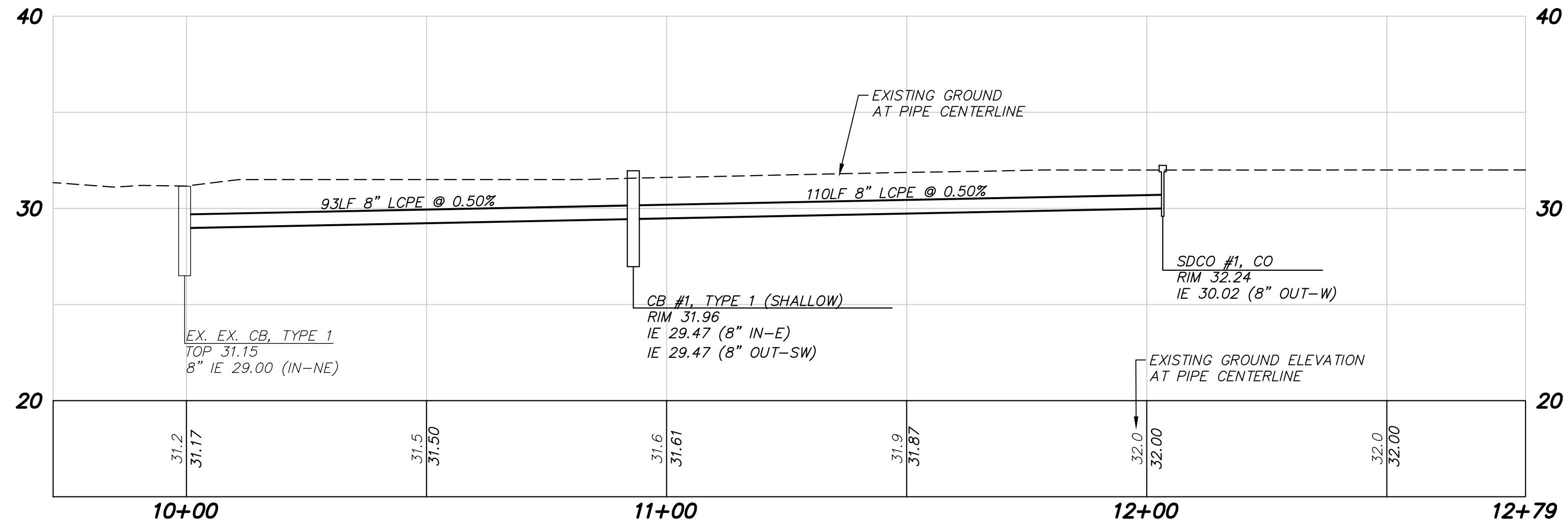




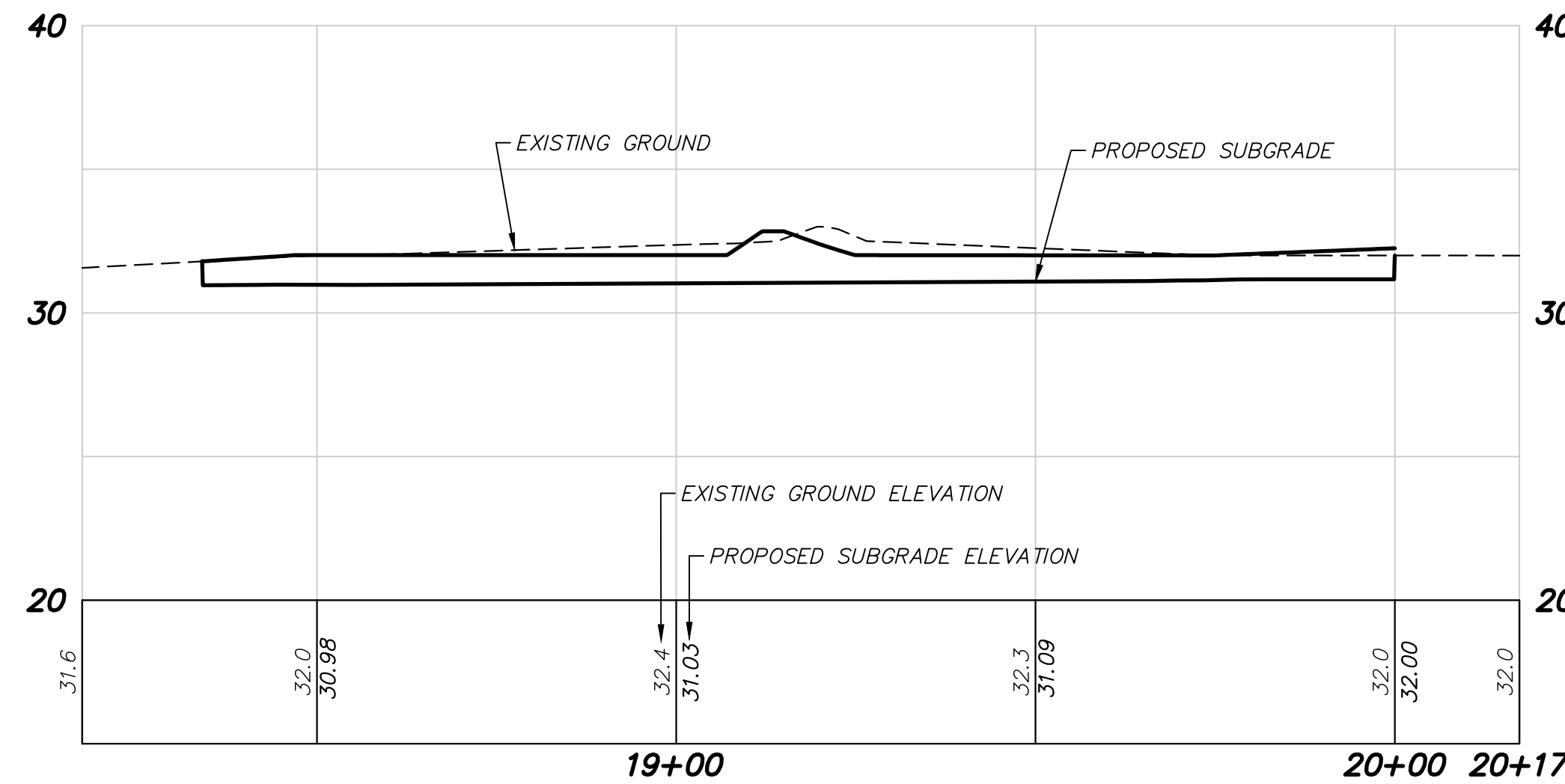


**KING COUNTY DRAINAGE NOTES:**

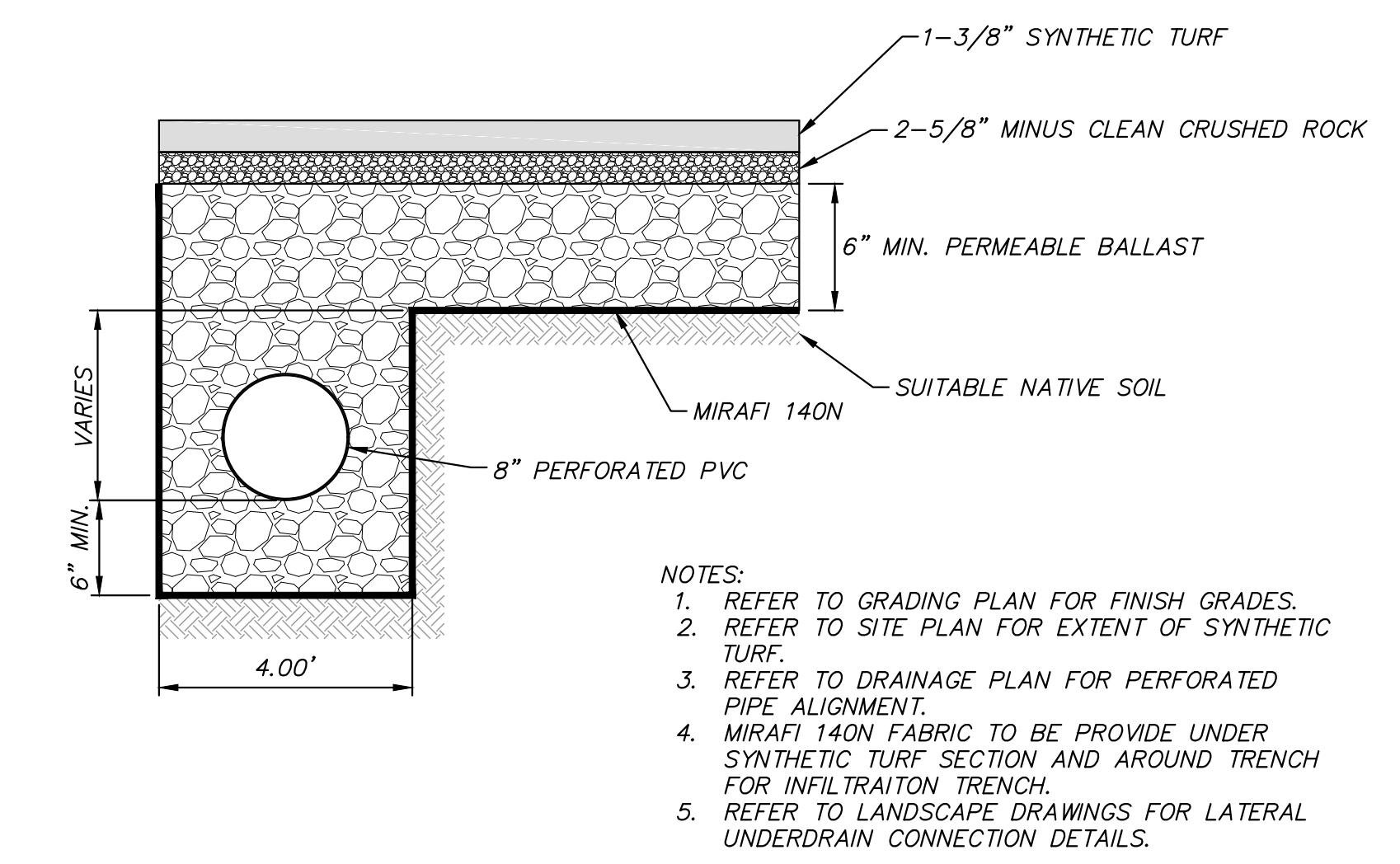
- PROOF OF LIABILITY INSURANCE SHALL BE SUBMITTED TO DDES PRIOR TO THE CONSTRUCTION OF THE DRAINAGE FACILITIES, PREFERABLY AT THE PRECONSTRUCTION MEETING.
- ALL PIPE AND APPURTENANCES SHALL BE LAID ON A PROPERLY PREPARED FOUNDATION IN ACCORDANCE WITH WSDOT SPECIFICATIONS. THIS SHALL INCLUDE LEVELING AND COMPACTING THE TRENCH BOTTOM, THE TOP OF THE FOUNDATION MATERIAL, AND ANY REQUIRED PIPE BEDDING, TO A UNIFORM GRADE SO THAT THE ENTIRE PIPE IS SUPPORTED BY A UNIFORMLY DENSE UNYIELDING BASE.
- STEEL PIPE SHALL BE ALUMINIZED, OR GALVANIZED WITH ASPHALT TREATMENT #1 OR BETTER INSIDE AND OUTSIDE.
- ALL DRAINAGE STRUCTURES, SUCH AS CATCH BASINS AND MANHOLES, NOT LOCATED WITHIN A TRAVELED ROADWAY OR SIDEWALK, SHALL HAVE SOLID LOCKING LIDS. ALL DRAINAGE STRUCTURES ASSOCIATED WITH A PERMANENT RETENTION/DETENTION FACILITY SHALL HAVE SOLID LOCKING LIDS.
- ALL CATCH BASIN GRATES SHALL CONFORM TO KCRS, WHICH INCLUDES THE STAMPING "OUTFALL TO STREAM, DUMP NO POLLUTANTS" AND "PROPERTY OF KING COUNTY", EXCEPT THAT PRIVATE DRAINAGE SYSTEMS SHALL NOT HAVE THE WORDS "PROPERTY OF KING COUNTY".
- ALL DRIVEWAY CULVERTS LOCATED WITHIN KING COUNTY RIGHT-OF-WAY SHALL BE OF SUFFICIENT LENGTH TO PROVIDE A MINIMUM 3:1 SLOPE FROM THE EDGE OF THE DRIVEWAY TO THE BOTTOM OF THE DITCH. CULVERTS SHALL HAVE BEVELED END SECTIONS TO MATCH THE SIDE SLOPE KCRS.
- ROCK FOR EROSION PROTECTION OF ROADWAY DITCHES, WHERE REQUIRED, MUST BE OF SOUND QUARRY ROCK, PLACED TO A DEPTH OF 1 FOOT, AND MUST MEET THE FOLLOWING SPECIFICATIONS: 4"-8"/40%-70% PASSING; 2"-4" ROCK/30%-40% PASSING; AND -2" ROCK/10%-20% PASSING. INSTALLATION SHALL BE IN ACCORDANCE WITH KCRS.
- DRAINAGE OUTLETS (STUB-OUTS) SHALL BE PROVIDED FOR EACH INDIVIDUAL LOT, EXCEPT FOR THOSE LOTS APPROVED FOR INFILTRATION BY KING COUNTY. STUB-OUTS SHALL CONFORM TO THE FOLLOWING:
  - EACH OUTLET SHALL BE SUITABLY LOCATED AT THE LOWEST ELEVATION ON THE LOT, SO AS TO SERVICE ALL FUTURE ROOF DOWNSPOUTS AND FOOTING DRAINS, DRIVEWAYS, YARD DRAINS, AND ANY OTHER SURFACE OR SUBSURFACE DRAINS NECESSARY TO RENDER THE LOTS SUITABLE FOR THEIR INTENDED USE. EACH OUTLET SHALL HAVE FREE-FLOWING, POSITIVE DRAINAGE TO AN APPROVED STORMWATER CONVEYANCE SYSTEM OR TO AN APPROVED OUTFALL LOCATION.
  - OUTLETS ON EACH LOT SHALL BE LOCATED WITH A FIVE-FOOT-HIGH, 2" X 4" STAKE MARKED "STORM" OR "DRAIN". THE STUB-OUT SHALL EXTEND ABOVE SURFACE LEVEL, BE VISIBLE, AND BE SECURED TO THE STAKE.
  - PIPE MATERIAL SHALL CONFORM TO UNDERDRAIN SPECIFICATIONS DESCRIBED IN KCRS AND, IF NON-METALLIC, THE PIPE SHALL CONTAIN WIRE OR OTHER ACCEPTABLE DETECTION.
  - DRAINAGE EASEMENTS ARE REQUIRED FOR DRAINAGE SYSTEMS DESIGNED TO CONVEY FLOWS THROUGH INDIVIDUAL LOTS.
  - THE APPLICANT/CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE LOCATIONS OF ALL STUB-OUT CONVEYANCE LINES WITH RESPECT TO THE UTILITIES (E.G. POWER, GAS, TELEPHONE, TELEVISION).
  - ALL INDIVIDUAL STUB-OUTS SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE LOT HOME OWNER.
  - ALL DISTURBED PERVIOUS AREAS (COMPACTED, GRADED, LANDSCAPED, ETC.) OF THE DEVELOPMENT SITE MUST DEMONSTRATE ONE OF THE FOLLOWING: THE EXISTING DUFF LAYER SHALL BE STAGED AND REDISTRIBUTED TO MAINTAIN THE MOISTURE CAPACITY OF THE SOIL, OR; AMENDED SOIL SHALL BE ADDED TO MAINTAIN THE MOISTURE CAPACITY.
  - SEASONAL CLEARING IS LIMITED BETWEEN OCTOBER 1 AND MARCH 30 INCLUSIVE, UNLESS OTHERWISE APPROVED WITH A WRITTEN DECISION BY THE REVIEWING AGENCY.
  - IMPROVEMENTS AND/OR BUILDINGS SHALL NOT BE INSTALLED UNTIL DRAINAGE FACILITIES ARE "IN OPERATION"; (KCC 9.04).



**1 STORM DRAINAGE PROFILE**  
SCALE: 1"=20' HORIZ.; 1"=5' VERT.



**2 INFIELD SECTION**  
SCALE: 1"=20' HORIZ.; 1"=5' VERT.

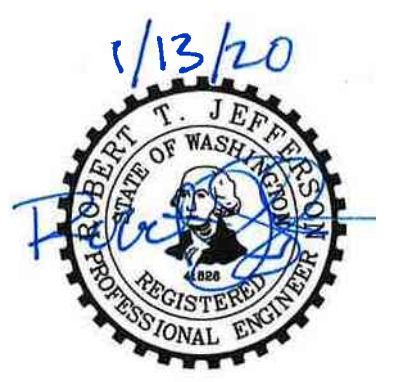


**3 SYNTHETIC TURF SECTION**  
NOT TO SCALE

- NOTES:
- REFER TO GRADING PLAN FOR FINISH GRADES.
  - REFER TO SITE PLAN FOR EXTENT OF SYNTHETIC TURF.
  - REFER TO DRAINAGE PLAN FOR PERFORATED PIPE ALIGNMENT.
  - MIRAFI 140N FABRIC TO BE PROVIDE UNDER SYNTHETIC TURF SECTION AND AROUND TRENCH FOR INFILTRATION TRENCH.
  - REFER TO LANDSCAPE DRAWINGS FOR LATERAL UNDERDRAIN CONNECTION DETAILS.

NO.	DATE	BY	REVISION

**PERMIT SET**



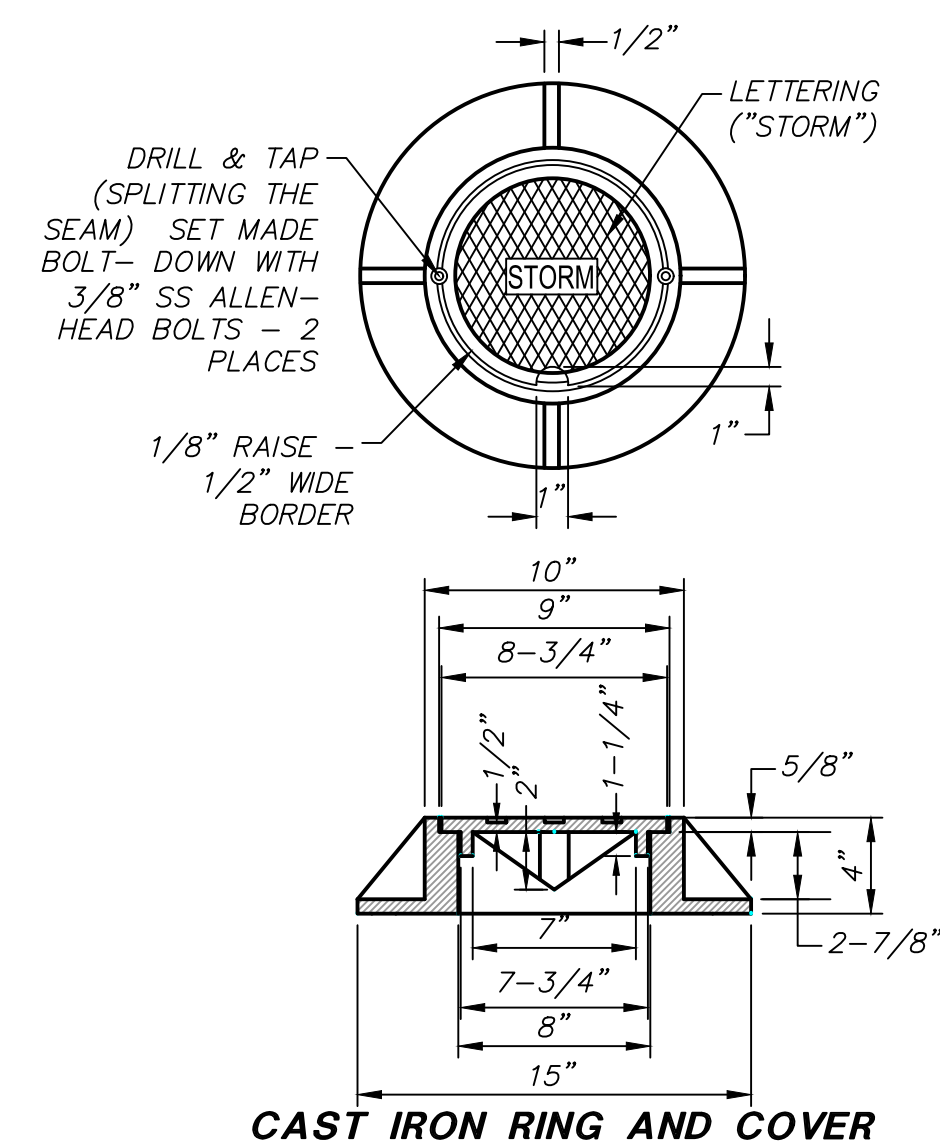
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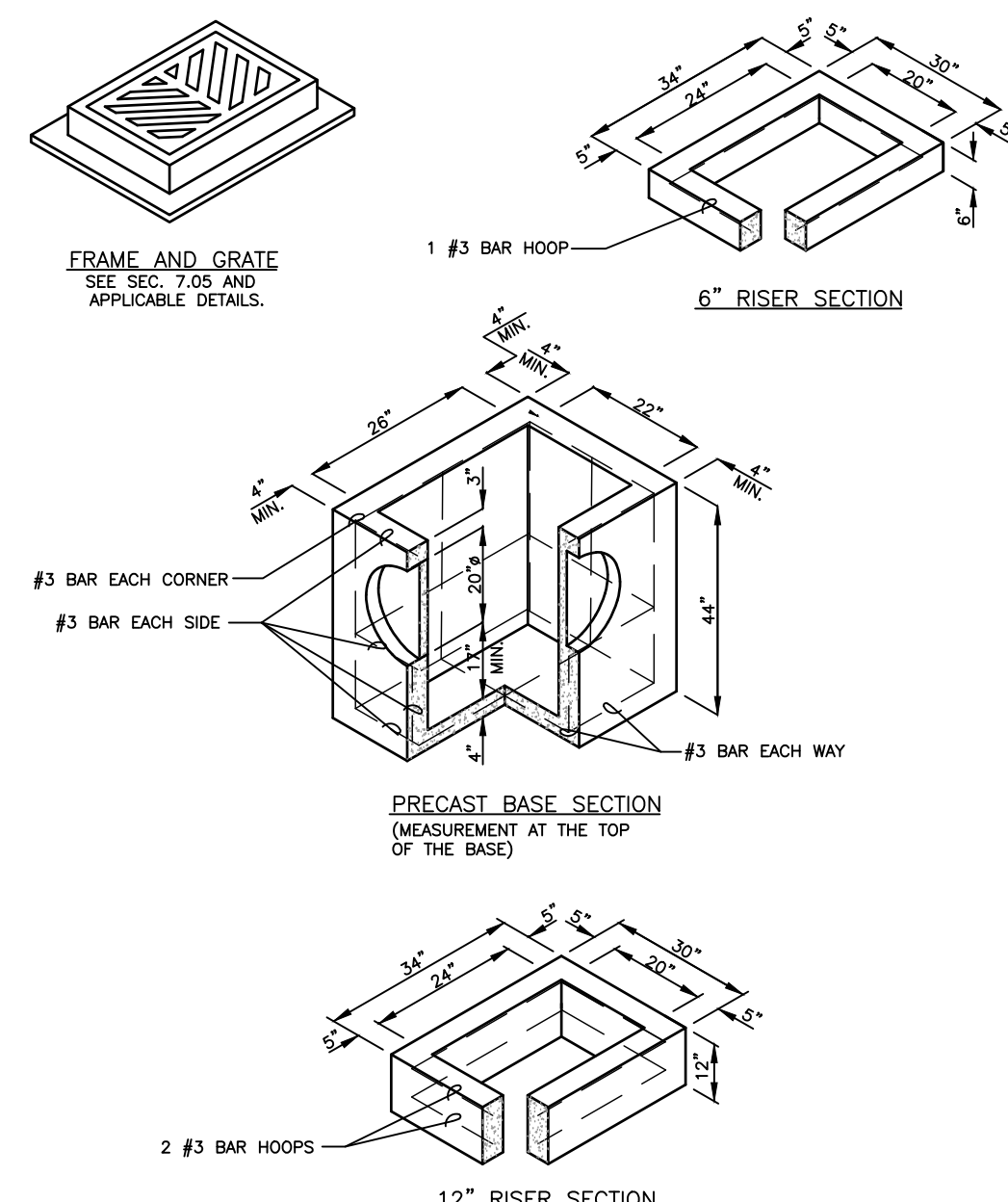
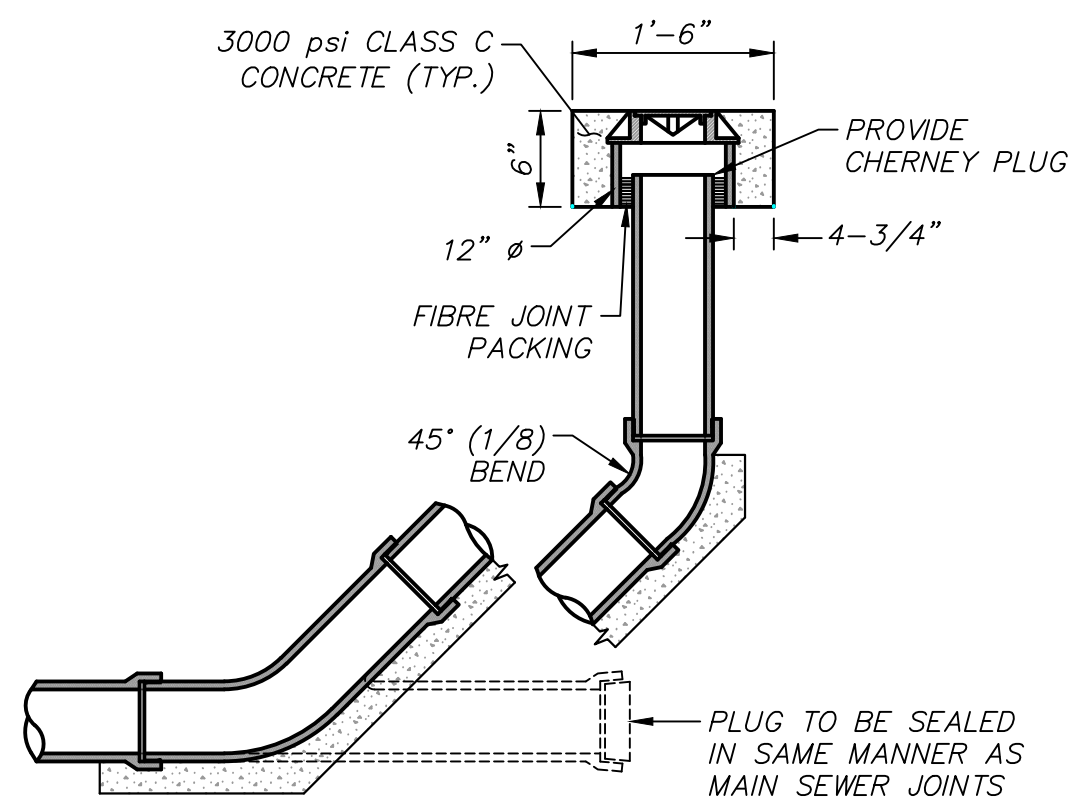
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**SLAL00000004**

SHEET NO.  
**C3.0**  
OF **5**



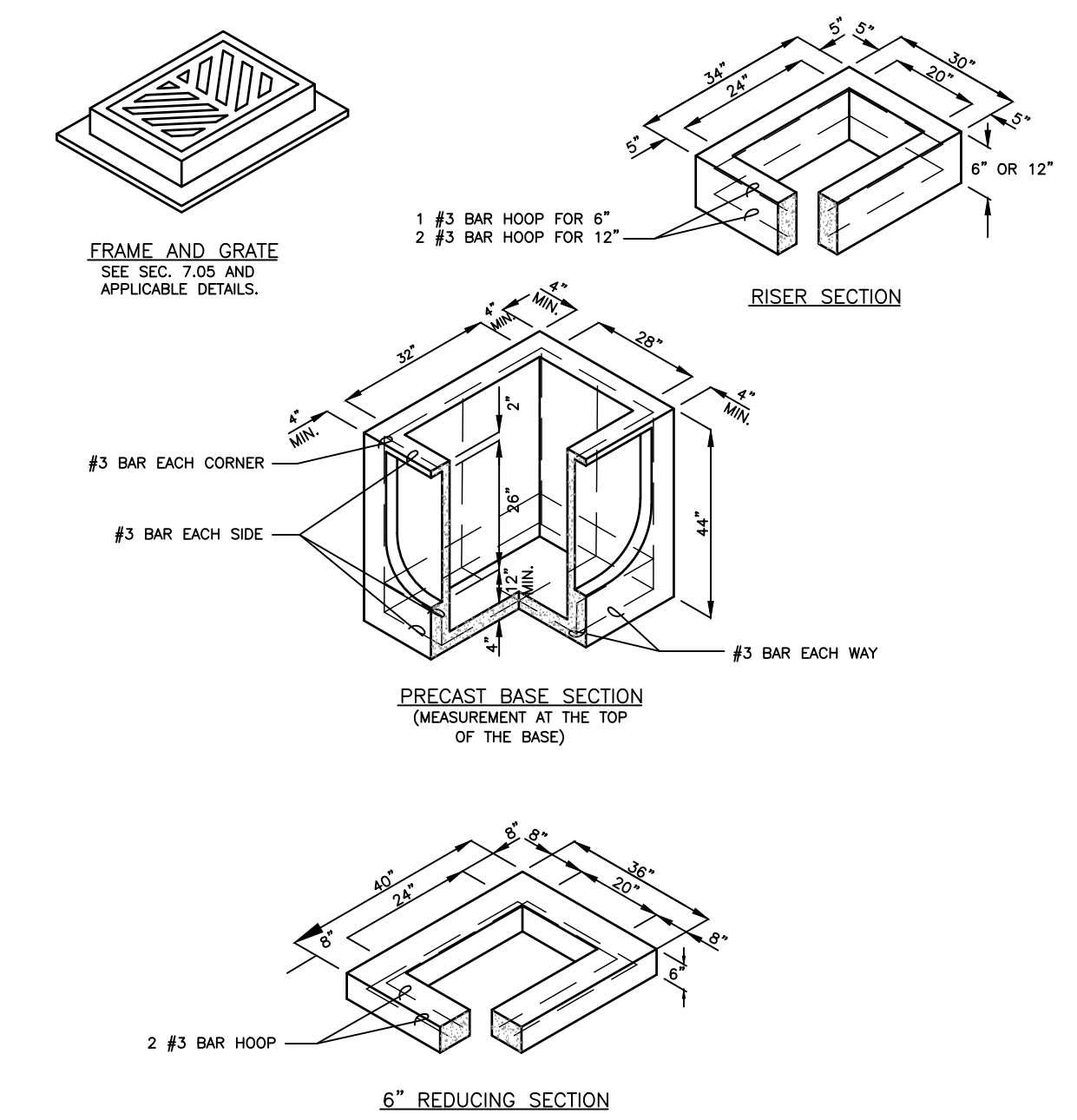


- NOTES:**
1. PIPE MATERIAL AS SPECIFIED BY THE ENGINEER.
  2. PIPE DIAMETER AS SHOWN PER PLAN.



- NOTES:**
1. CATCH BASINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH AASHTO M 199 UNLESS OTHERWISE SHOWN ON PLANS OR NOTED IN THE WSDOT/APWA STANDARD SPECIFICATIONS.
  2. AS AN ACCEPTABLE ALTERNATIVE TO REBAR, WELDED WIRE FABRIC HAVING A MIN. AREA OF 0.12 SQ. IN. PER FT. MAY BE USED. WELDED WIRE FABRIC SHALL COMPLY TO ASTM A497 (AASHTO M 221). WIRE FABRIC SHALL NOT BE PLACED IN KNOCKOUTS.
  3. ALL REINFORCED CAST-IN-PLACE CONCRETE SHALL BE CLASS 4000.
  4. PRECAST BASES SHALL BE FURNISHED WITH CUTOUTS OR KNOCKOUTS. KNOCKOUTS SHALL HAVE A WALL THICKNESS OF 2 IN. MIN. ALL PIPE SHALL BE INSTALLED IN FACTORY PROVIDED KNOCKOUTS. UNUSED KNOCKOUTS NEED NOT BE GROUDED IF WALL IS LEFT INTACT.
  5. KNOCKOUT OR CUTOUT HOLE SIZE IS EQUAL TO PIPE OUTER DIAM. PLUS CATCH BASIN WALL THICKNESS.
  6. ROUND KNOCKOUTS MAY BE ON ALL 4 SIDES, WITH MAX. DIAM. OF 20 IN. KNOCKOUTS MAY BE EITHER ROUND OR
  7. THE MAX. DEPTH FROM THE FINISHED GRADE TO THE PIPE INVERT IS 5 FT.
  8. THE TAPER ON THE SIDES OF THE PRECAST BASE SECTION AND RISER SECTION SHALL NOT EXCEED 1/2" PER FT.
  9. CATCH BASIN FRAME AND GRATE SHALL BE IN ACCORDANCE WITH STANDARD SPECIFICATIONS AND MEET THE STRENGTH REQUIREMENTS OF FEDERAL SPECIFICATION RR-F-62E. MATING SURFACES SHALL BE FINISHED TO ASSURE NON-ROCKING FIT WITH ANY COVER POSITION.
  10. FRAME AND GRATE MAY BE INSTALLED WITH FLANGE DOWN OR CAST INTO RISER.
  11. FOR CATCH BASINS IN PARKING LOTS REFER TO WSDOT/APWA STANDARD DWG. B-5.60-01.
  12. EDGE OF RISER OR BRICK SHALL NOT BE MORE THAN 2 IN. FROM VERTICAL EDGE OF CATCH BASIN WALL.
  13. SEE THE WSDOT/APWA STANDARD SPECIFICATIONS SECTION 9-05.15 FOR METAL CASTINGS REQUIREMENTS.

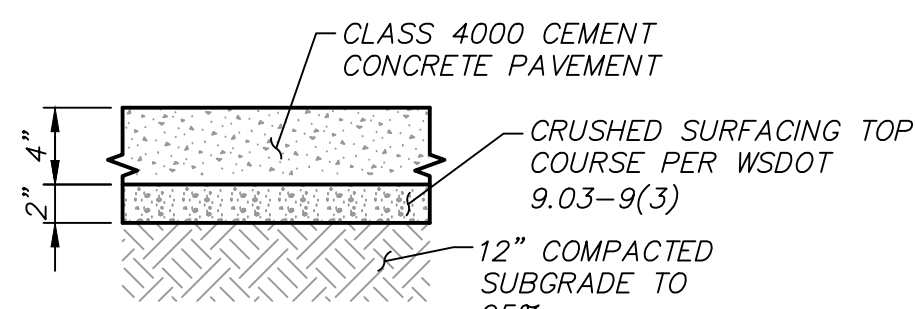
Department of Transportation  
 Road Services Division  
 2016 Design and Construction Standards  
**CATCH BASIN TYPE 1** FIG. 7-003  
 7-8 KING COUNTY STD. PLAN 7-003



- NOTES:**
1. CATCH BASINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH AASHTO M 199 UNLESS OTHERWISE SHOWN ON PLANS OR NOTED IN THE WSDOT/APWA STANDARD SPECIFICATIONS.
  2. AS AN ACCEPTABLE ALTERNATIVE TO REBAR, WELDED WIRE FABRIC HAVING A MIN. AREA OF 0.12 SQ. IN. PER FT. MAY BE USED. WELDED WIRE FABRIC SHALL COMPLY TO ASTM A497 (AASHTO M 221). WIRE FABRIC SHALL NOT BE PLACED IN KNOCKOUTS.
  3. ALL REINFORCED CAST-IN-PLACE CONCRETE SHALL BE CLASS 4000.
  4. PRECAST BASES SHALL BE FURNISHED WITH CUTOUTS OR KNOCKOUTS. KNOCKOUTS SHALL HAVE A WALL THICKNESS OF 2 IN. MIN. ALL PIPE SHALL BE INSTALLED IN FACTORY PROVIDED KNOCKOUTS. UNUSED KNOCKOUTS NEED NOT BE GROUDED IF WALL IS LEFT INTACT.
  5. KNOCKOUT OR CUTOUT HOLE SIZE IS EQUAL TO PIPE OUTER DIAM. PLUS CATCH BASIN WALL THICKNESS.
  6. KNOCKOUTS MAY BE ON ALL 4 SIDES WITH MAX. DIAM. OF 28 IN. KNOCKOUTS MAY BE EITHER ROUND OR 1/2" SHAPE.
  7. THE TAPER ON THE SIDES OF THE PRECAST BASE SECTION AND RISER SECTION SHALL NOT EXCEED 1/2" PER FT.
  8. CATCH BASIN FRAME AND GRATE SHALL BE IN ACCORDANCE WITH STANDARD SPECIFICATIONS AND MEET THE STRENGTH REQUIREMENTS OF FEDERAL SPECIFICATION RR-F-62E. MATING SURFACES SHALL BE FINISHED TO ASSURE NON-ROCKING FIT WITH ANY COVER POSITION.
  9. FRAME AND GRATE MAY BE INSTALLED WITH FLANGE DOWN OR CAST INTO RISER.
  10. MAX. DEPTH FROM FINISHED GRADE TO PIPE INVERT SHALL BE 5 FT.
  11. EDGE OF REDUCING SECTION OR BRICK SHALL NOT BE MORE THAN 2 IN. FROM VERTICAL EDGE OF CATCH BASIN WALL.
  12. SEE THE WSDOT/APWA STANDARD SPECIFICATIONS SECTION 9-05.15 FOR METAL CASTINGS REQUIREMENTS.

Department of Transportation  
 Road Services Division  
 2016 Design and Construction Standards  
**CATCH BASIN TYPE 1-L** FIG. 7-004  
 7-9 KING COUNTY STD. PLAN 7-004

**1 CLEANOUT**  
 NOT TO SCALE



- NOTES:**
1. DEPTHS ARE COMPACTED THICKNESS.
  2. DUMMY JOINTS CONSISTING OF 3/16" BE 2" PREMOLDED JOINT MATERIAL SHALL BE PLACED AT MAXIMUM 18 FOOT INTERVALS.
  3. PROVIDE A TOOLED CONSTRUCTION JOINT AT MAXIMUM 6 FOOT INTERVAL.
  4. THE CONTRACTOR SHALL EXPOSE EXISTING FILL, PROOF ROLL AND COMPACT TO 95% IF YIELDING CONDITIONS ARE ENCOUNTERED, YIELDING MATERIALS SHALL BE REPLACED WITH IMPORTED STRUCTURAL FILL MATERIAL. THE DEPTH OF MATERIAL REPLACEMENT SHALL BE DETERMINED BY THE GEOTECHNICAL ENGINEER.

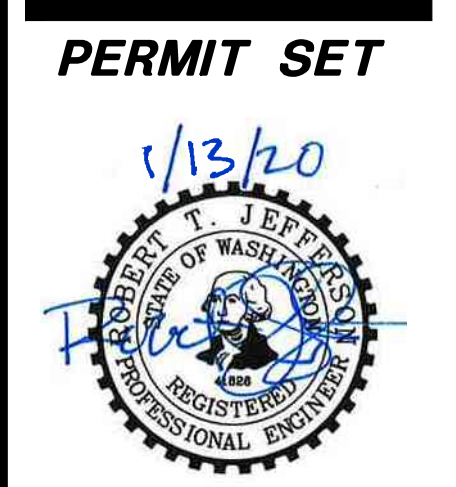
**2 CEMENT CONCRETE SECTION**  
 NOT TO SCALE

**3 CATCH BASIN - TYPE 1**  
 NOT TO SCALE

**4 CATCH BASIN - TYPE 1L**  
 NOT TO SCALE

**NOTES AND DETAILS**  
**SLA LANDSCAPE ARCHITECTS**  
**NORTHSHORE ATHLETIC FIELDS**  
 KING COUNTY WA

REVIEWED BY: <i>MAP</i>	DATE	NO.	REVISION
BY: <i>CK</i>	DATE	NO.	REVISION



STAMP NOT VALID UNLESS SIGNED AND DATED

FIRST SUBMITTAL DATE: 01/13/2020  
 SCALE: HORIZ:----- VERT:-----

PROJECT NO.  
**SLAL00000004**

SHEET NO.  
**C3.1**  
 OF 5

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 Save Date: 1/13/2020 2:44 PM  
 By: Michael Stewart  
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# NORTHSHORE ATHLETIC FIELD PLAYGROUND

14735 NE 145TH ST  
WOODINVILLE, WA 98072

**PREPARED FOR:**

**NORTHSHORE ATHLETIC FIELDS NON-PROFIT**  
14735 NE 145TH ST  
WOODINVILLE, WA 98072

**LANDSCAPE ARCHITECT**

**SANDERSON STEWART**  
ATTN: ERIK SWEET  
1300 N TRANSTECH WAY  
BILLINGS MT 59102



Sheet Number	Sheet Title
--	COVER
L1.0	OVERALL PLAN
L1.1	LANDSCAPE PLAN
L2.1	DETAILS
L2.2	DETAILS 2

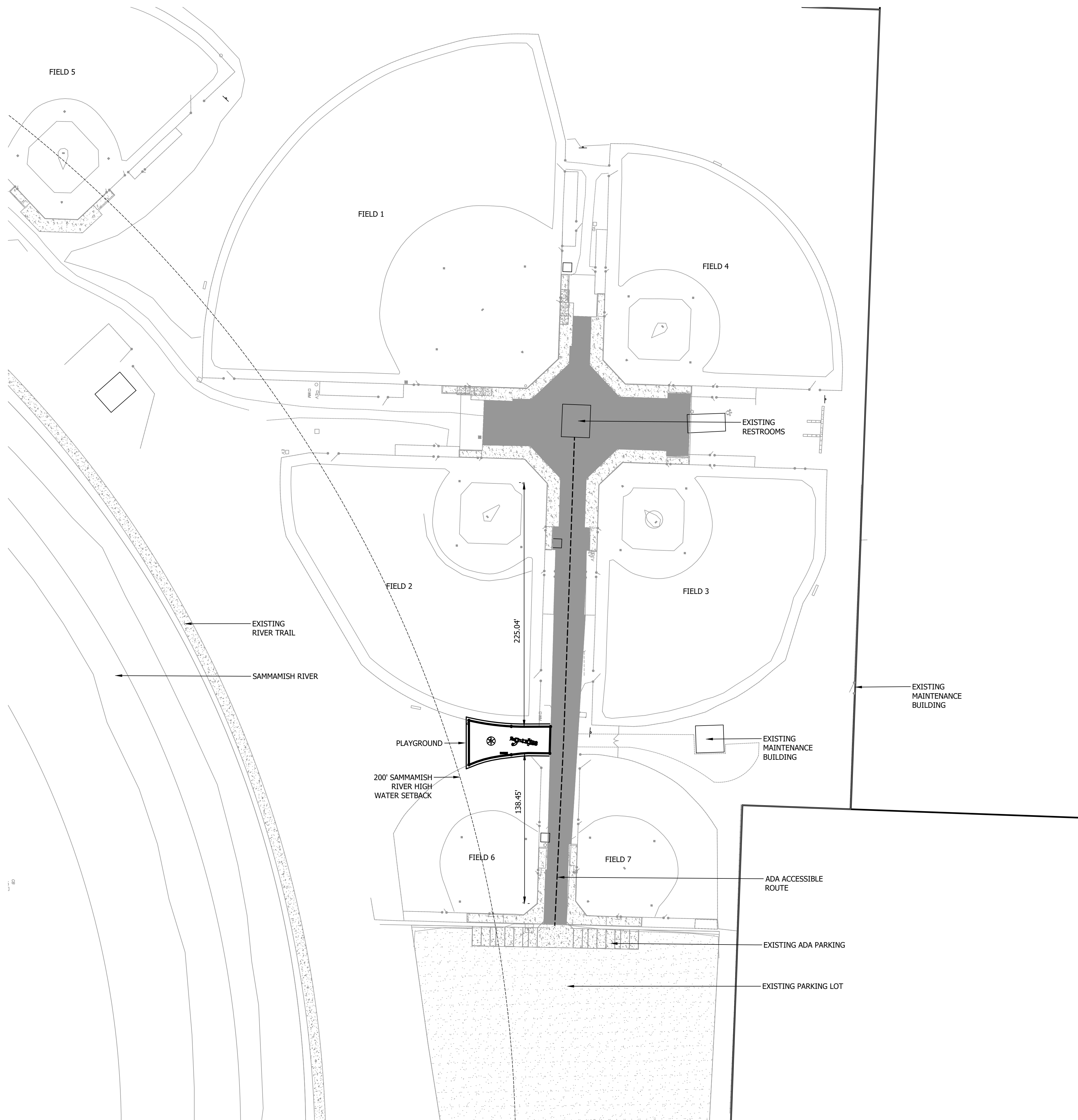


**VICINITY MAP**

NOT TO SCALE



Enduring Community Design



**LEGEND**

	ASPHALT
	CONCRETE
	GRAVEL
	ADA ACCESSIBLE ROUTE



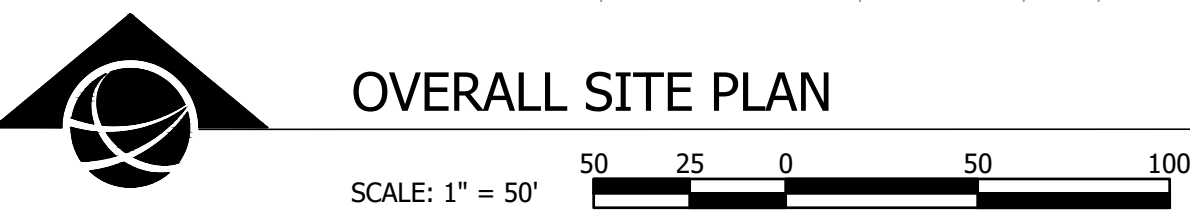
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DATE	DESCRIPTION
05/27/2020	SUBMITTAL
07/07/2020	RESUB
07/27/2020	RESUB

FILE:	20025_N SHORE SITE_PROD.DWG		
PROJECT NO.:	20025	JMC	ES
CAD:			
QUALITY ASSURANCE:			

**PRELIMINARY - FOR REVIEW**

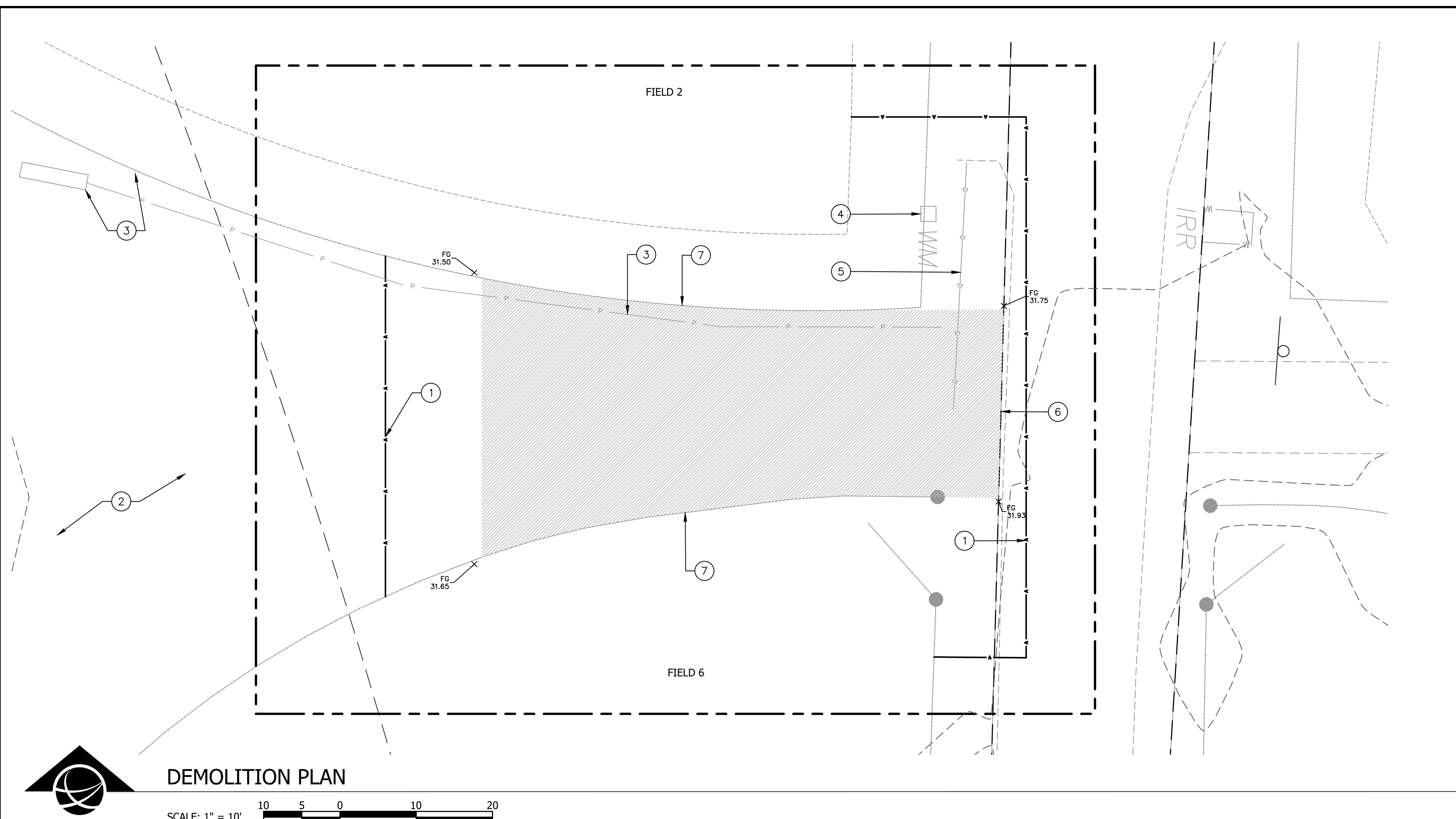
**NORTHSHORE ATHLETIC FIELD PLAYGROUND**  
14735 NE 145TH ST  
WOODINVILLE, WA 98072  
OVERALL SITE PLAN



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**DEMOLITION LEGEND**

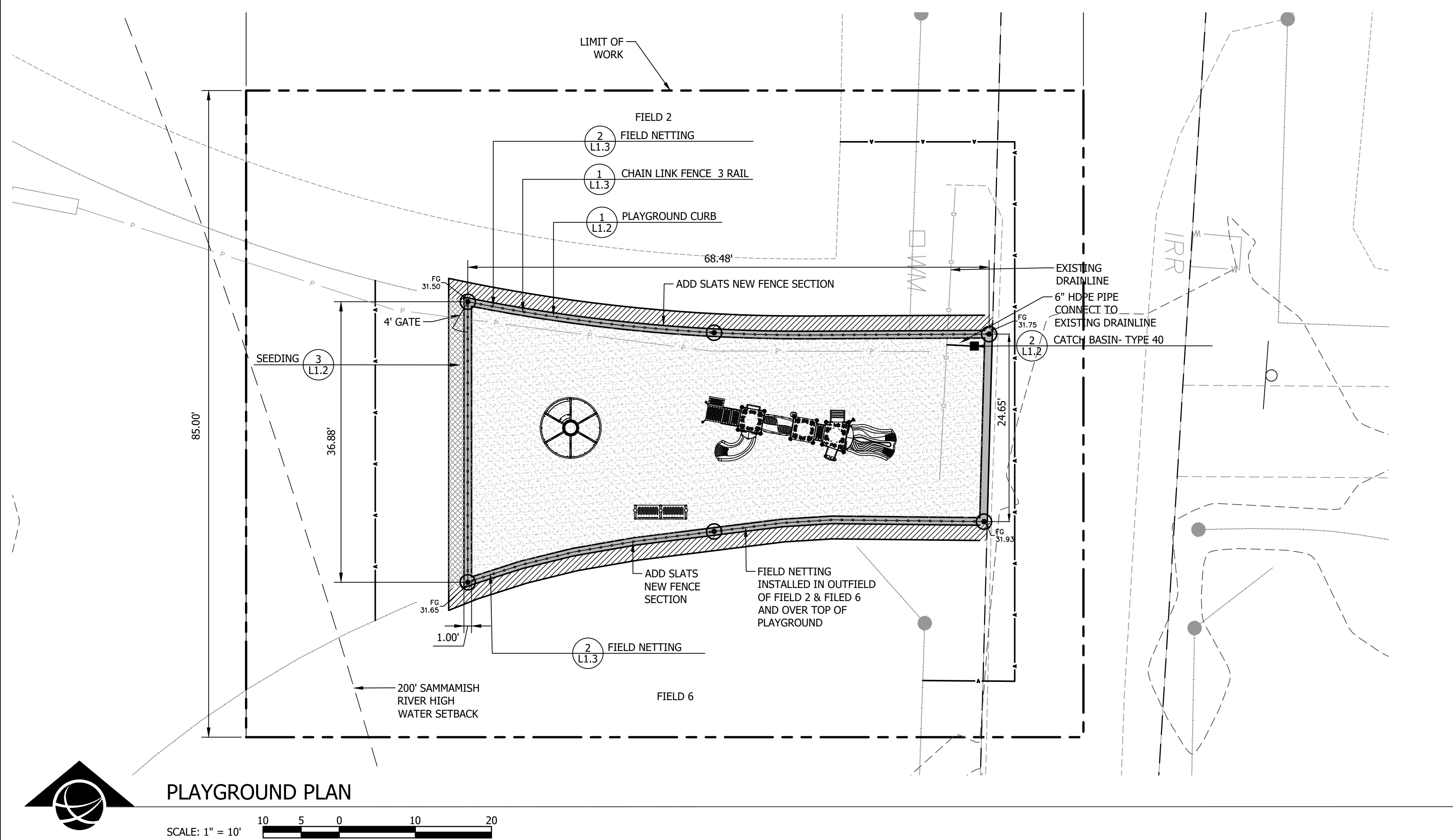
- STRIP AND REMOVE SOD 4" DEPTH
- LIMIT OF WORK

**DEMOLITION KEY NOTES**

- 1 ORANGE CONSTRUCTION FENCE
- 2 PROTECT EXISTING SEPTIC DRAINFIELD
- 3 PROTECT EXISTING SCOREBOARD ELECTRICAL WIRE
- 4 COORDINATE AND PROTECT IRRIGATION LINES
- 5 PROTECT EXISTING DRAINLINE
- 6 SAWCUT ASPHALT TO A CLEAN LINE

**DEMOLITION NOTES**

1. ALL ITEMS INDICATED FOR REMOVAL AND EXCESS ITEMS SHALL BE DISPOSED OF BY THE CONTRACTOR OFF SITE, LEGALLY AS PER SPECIFICATIONS. ITEMS TO BE REMOVED ARE INDICATED ON THE DRAWINGS BUT MAY ALSO INCLUDE: TRASH, RUBBISH, STONES OVER 6" DIA., UNDERGROUND PIPING AND OTHER MISCELLANEOUS ITEMS PRESENT.
2. CLEAR AND GRUB AREAS DISTURBED BY NEW CONSTRUCTION. SITE PREPARATION WITHIN AREAS OF TREE PROTECTION FENCING SHALL BE DONE BY HAND.
3. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING ROADWAYS, WALKS, CURB AND GUTTER, SIGNS, UTILITIES AND VEGETATION. DAMAGE TO EXISTING FEATURES CAUSED BY CONSTRUCTION ACTIVITIES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
4. IF IRRIGATION ZONES MUST BE DEACTIVATED DURING CONSTRUCTION, MANUALLY WATER ALL AFFECTED LANDSCAPE AREAS TO MAINTAIN A HEALTHY AND VIGOROUS CONDITION.
5. CONTRACTOR SHALL PROTECT ALL EXISTING TREES TO REMAIN AS INDICATED ON PLANS.
6. CONTRACTOR SHALL NOT DISTURB AREAS OUTSIDE OF LIMIT OF WORK.
7. CONTRACTOR SHALL GRIND ALL EXISTING TREE STUMPS TO 18" BELOW GRADE.
8. CONTRACTOR SHALL STRIP AREAS TO BE DISTURBED OF TOPSOIL (APPROX. 6") AND STOCKPILE ON SITE, IN LOCATION APPROVED BY OWNER'S REPRESENTATIVE. ALL STOCKPILES TO REMAIN WEED FREE. RE-SPREAD TOPSOIL IN AREAS TO BE SEEDED.



**PLAYGROUND LEGEND**

- PLAYGROUND SURFACING
- RESTORATION WARNING TRACK
- RESTORATION SEEDING
- NEW CONCRETE WITH INTEGRAL FENCE
- NEW FENCE
- RIVER BUFFER
- LIMIT OF WORK
- 4" PERFORATED ADS DRAINLINE

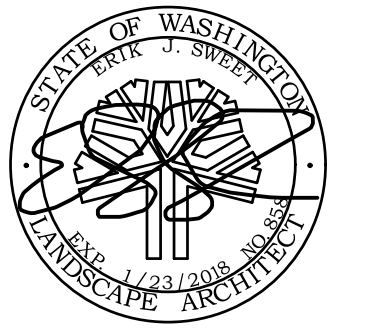
**GENERAL NOTES**

1. THE CONTRACTOR SHALL OBTAIN, AT THEIR OWN EXPENSE, APPLICABLE LICENSES, STANDARDS, PERMITS, ETC. WHICH ARE NECESSARY TO PERFORM THE WORK.
2. THE CONTRACTOR SHALL LOCATE, CLEARLY MARK AND MAINTAIN EXISTING UTILITIES ON THE SITE PRIOR TO WORK START UP. CALL FOR UTILITY LOCATES PRIOR TO COMMENCING WORK.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND REPAIR OF UTILITIES IF DAMAGED. REPAIR SHALL BE DONE AT NO ADDITIONAL COST TO THE OWNER.
4. ALL DIMENSIONS SHALL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. ANY DEVIATION FROM THESE PLANS MUST BE APPROVED BY OWNER OR LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
5. LIMIT OF WORK IS AS INDICATED ON THE PLANS.
6. COORDINATE SITE ACCESS, STAGING, STORAGE AND CLEANOUT AREAS WITH LANDSCAPE ARCHITECT AND OWNER.

**LAYOUT NOTES**

1. ALL SITE IMPROVEMENTS SHALL BE FIELD SURVEYED AND STAKED BY CONTRACTOR. RECEIVE OWNER'S REPRESENTATIVE APPROVAL OF STAKED LOCATIONS OF IMPROVEMENTS PRIOR TO INSTALLATION START-UP.
2. RECEIVE OWNER'S REPRESENTATIVE APPROVAL OF FINAL STAKING BY CONTRACTOR OF ALL CONCRETE FLATWORK PRIOR TO CONSTRUCTION AND ALL FORM WORK PRIOR TO POURING.
3. ALL DIMENSIONS SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. ANY DEVIATION FROM THESE PLANS MUST BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
4. PRIOR TO EXCAVATION, UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED.
5. NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY OF ANY DISCREPANCY BETWEEN WRITTEN COORDINATE POINTS/ELEVATIONS AND DIGITAL INFORMATION.
6. ALL CONTROL JOINTS SHALL BE SAWCUT AND SPACED AS INDICATED ON THE DRAWINGS AND DETAILS. EXPANSION JOINTS SHALL BE PLACED AS INDICATED ON THE DRAWINGS OR EVERY 80'.
7. ALL PLAYGROUND FENCING SHALL MEET ASTM F2049 STANDARDS. ADD SLATS TO FENCING WHERE OUTFIELD FENCE AND PLAYGROUND FENCE MEET.
8. PLAYGROUND MUST COMPLY WITH ASTM 1487.

**PRELIMINARY - FOR REVIEW**



DRAWING HISTORY	DATE	DESCRIPTION
	05/27/2020	SUBMITTAL
	07/07/2020	RESUB
	07/27/2020	RESUB

FILE:	20025_N SHORE PLAYGROUND_PROD.DWG		
PROJECT NO.:	20025	JMC	ES
CAD:			
QUALITY ASSURANCE:			



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3. Exhibit C is deleted in its entirety and replaced by the following new Exhibit C:

**AMENDED EXHIBIT – C**

**Schedule (NAF's Proposed Timing and Sequence of Capital Improvements)**

<b>Project</b>	<b>Timing</b>
Concessions / Restroom Building	2013
Maintenance Building	2013
Electrical (upgrade to code)	2013-2014
Batting Cages	2013-2014
Picnic Area & Kids Play Structure	2014
Field—1 Bleachers	2014
Walkway / Accessibility	2014
Entry	2014
Infield Turf and/or Fencing / Backstops / Netting	2015
3 <sup>rd</sup> Field Infield Conversion	Spring 2022
Playground	Summer 2022

All other terms, conditions, specifications and requirements of the Agreement shall remain unchanged and in full effect, except as amended herein.

IN WITNESS WHEREOF, the parties hereto have executed this amendment.

Northshore Athletic Fields

King County

By \_\_\_\_\_

By \_\_\_\_\_

TITLE \_\_\_\_\_

TITLE \_\_\_\_\_

Date \_\_\_\_\_

Date \_\_\_\_\_