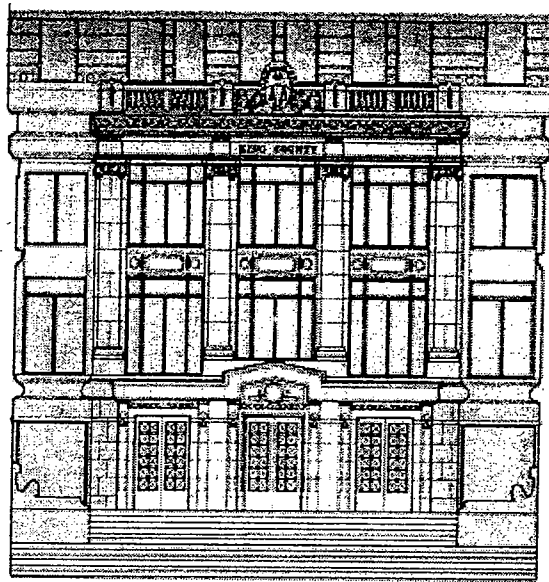




Attachment 8

KING COUNTY

**DEVELOPMENT MANAGEMENT
MONTHLY REPORT
MAY 2003**



KING COUNTY COURTHOUSE SEISMIC PROJECT

Date: June 9, 2003

Prepared by The Seneca Real Estate Group

KING COUNTY

KING COUNTY COURTHOUSE SEISMIC PROJECT

MONTHLY REPORT MAY 2003



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KING COUNTY COURTHOUSE SEISMIC PROJECT

MONTHLY REPORT MAY 2003



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SECTION 1 – EXECUTIVE SUMMARY

Overview

This monthly report covers activity during May 2003 on the King County Courthouse Seismic Project (“Project”); AFIS, Wall Seismic Repairs, Stairwell Repairs (“Alternates”) and the exterior repair work including the parapet, swing stage rail and exterior terra cotta repair work (“Exterior Repair”).

Construction Progress

Schedule milestones achieved during the month of May include:

- Floor 3W was completed and reoccupied by the County.
- Mechanical and electrical rough in along with drywall taping and finishing were installed on Floor 4W. Turnover is scheduled for mid July.
- Mechanical and electrical rough in along with drywall taping and finishing were installed on Floor 5W. Turnover is scheduled for the third week in July.
- Floor 6W structural work was completed during May.
- Floor 7W concrete column jackets and all carbon fiber installation was completed during May.
- Skanska started demolition and abatement work on Floor 8W in mid May.
- Skanska started temporary protection, utility identification and abatement work on Floor 9W in late May.
- Planning for construction commencement in early July of Exterior Repair.
- Skanska Change Orders 27 through 35 have been transmitted to the County for execution.

Critical Issues

- Maintaining schedule will continue to be a critical issue through out the duration of this Project. The good news is that currently, with county directed scope increases and tasks required to handle hidden and unknown conditions, the scheduled completion date remains mid August 2004.
- A decision on proceeding with the lobby renovation needs to be made very soon to maintain schedule, efficient project delivery and completion in line with the CASP project completion in August 2004.
- Commencement of Exterior Repair construction on south and west facades in early July to maintain schedule.
- Increased scope due to existing and hidden conditions.
- Construction noise impact on building tenants.



Budget

- Costs to date including Skanska's April pay request are \$38,080,000 for the seismic project, 46% of the total project budget; \$1,273,000 for the AFIS project, 52% of the total project budget; \$475,000 for the stairwell repairs, 27% of the total project budget and \$247,000 for the clay tile wall repairs, 16% of the total project budget. Costs to date for all the projects are commensurate with completion to date.
- Seneca meets weekly with Skanska to review Change Proposals and Change Orders. Currently, there are a total of \$5,447,000 construction contract changes through Change Order 35, including WSST, for all the projects. These Change Orders are funded as follows:

Seismic Project Contingency		\$ 1,719,000
Other Funding Sources		\$ 1,229,000
Lobby	\$ 55,000	
Project Move Budget	\$ 505,000	
Maintenance Funds	\$ 669,000	
AFIS Contingency and Supplemental Funding		\$ 719,000
Stairwell Contingency		\$ 26,000
Exterior Repair		\$ 1,754,000
Total		\$ 5,447,000

- Change Order causes are as follows:

King County Change including Maintenance work	24%
Unforeseen Conditions	23%
Regulatory Requirement	6%
A/E Error Omission	5%
Budgeted but not originally included in Construction Contract	42%

- All projects are currently on budget except AFIS. AFIS project contingency is not sufficient to fund the AFIS expansion on Floor 1A and the steel bracing required to support the power files, not included in the original scope of work. The Sheriff's office has given the okay to proceed with the expansion area, a total cost of \$337,000. In addition to the cost of the expansion area, additional funding is required to fund scope increases and contingency. Seneca has recommended to the Sheriff's office that additional funds of \$492,000 be allocated to fund the expansion and short fall in the first phase plus, at a minimum, a 10% contingency for the \$1,500,000 of construction work in future phases.

SECTION 2 – CRITICAL ISSUES

The following is a list of issues currently considered critical. Timely decisions or actions are required to prevent impacts to the Project's cost, schedule and/or quality.

Schedule

Maintaining schedule while incorporating county scope increases and additional tasks required to deal with hidden and unknown conditions will continue to be a critical issue through out this Project. Examples of scope increase include adding structural reinforcement to support the AFIS power files, repainting by county forces walls not included in Skanska's scope and worn carpet replacement in excess of Project scope. Examples of hidden conditions include undocumented penetrations between the first floor and basement that required smoke dampers, mechanical and electrical conditions in the ceiling not per the as-built drawings, and modifications to the hybrid beam required to deal with existing conditions.

To address the schedule implications of these changes, the team, including County personnel, have worked closely to expedite the increased scope for the long term benefit of the building and its occupants. For example, the original project scope only included painting of walls demolished or altered by the seismic work. Now all other walls have also been painted, primarily by County labor, on Floors up through 5W with the intention of continuing through the balance of the building. With the ceilings down, galvanized and steel water piping including abandoned and capped piping has been removed and replaced with copper for both hot and cold potable water up through Floor 5 with work underway on Floor 6. There are numerous additional examples of improvements to the courthouse that have now been efficiently and cost effectively completed.

Despite all these scope increases and additional tasks, the scheduled completion date continues to be mid August 2004. The project team continually monitors the schedule at both the weekly construction meeting and the monthly schedule update meeting.

Lobby Work

A schematic plan has been developed to renovate both the Third and Fourth Avenue lobbies including elevator cab operation, finish upgrades and improvements to the flow through security screening and its related equipment. A decision on proceeding with the lobby renovation needs to be made very soon to maintain schedule completion close to the CASP project completion in August 2004. Extending the schedule will reduce efficient project delivery and increase costs due to the need for additional contractor supervision beyond August 2004. To maintain schedule, preliminary plan and funding proposal review with the County Council needs to occur as soon as possible, followed by design completion, development of a Maximum Allowable Construction Cost ("MACC") and final Council approval.

Council

The schedule for exterior parapet repair work is being adjusted to occur beginning in July 2003 on the west side instead of starting in October, during budget season, as originally planned. Although it might be preferable to the 12th Floor occupants to have this parapet work done when the Council is out of the building during the winter, the work is more safely done in the summer. During June, the team will meet with Council staff to review the detailed construction schedule. Any noise issues during construction will be dealt with as they arise.

Increased Scope due to As Built or Hidden Conditions

As in any renovation project, hidden or concealed conditions are always a critical issue. The problem is further impacted if accurate as-built drawings do not exist, a situation we have at the Courthouse. On the lower Floors, the design documents, particularly mechanical and reflected ceiling plans, did not match existing conditions. For instance, there were additional ductwork penetrations between the Basement and the First Floor that require additional smoke dampers and inaccurate as built conditions for ductwork and lighting layout that impact sprinkler shop drawing production. To address the problem, the design team is doing accurate reflected ceiling plans of the west half of the building. After the existing ceiling is demolished in each work area, the mechanical engineer is then documenting the existing mechanical conditions.

It appears that as Skanska moves up in the building the as built conditions are more accurate. Although there continues to be the concern of hidden or concealed conditions, the increased accuracy of the drawings and Skanska's knowledge from construction on lower floors is reducing these risks.

Construction Noise

Major construction in an occupied building is always a challenge. In this project, drilling the 38,000 holes for reinforcing steel installation as well as preparation of the concrete columns prior to the carbon fiber wrap installation have, at times and depending on the location of the activity, caused disruption to building occupants. Tenants are to notify Tina Gilbert, Seneca's Construction Manager, if there is disruptive construction noise. She investigates the cause and has the construction work, if necessary, stopped. It has been a challenge at times to pinpoint the cause of the noise as the noise travels inconsistently. In addition some noise has been caused by activity in the building unrelated to the construction.

At the request of Superior Court, the team has tested an alternative anchoring method for fastening the clay tile wall bracing to the structure above. Tests were performed during the day and the noise was determined to be unacceptable. Skanska has prepared a Change Proposal for the work to occur during the night. Because this particular work can occur on a fill in basis during scheduled night shift and does not extend schedule, there is minimal incremental cost for this work to occur at night versus during the day. A decision on proceeding with this work is pending review with Superior Court.

The construction team understands the importance of maintaining a work environment while construction continues. Concurrently, building occupants have been tolerant of some minimal disruption.

SECTION 3 – CONSTRUCTION PROGRESS**Summary**As of February 28, 2003

Original Contract Amount:	\$ 55,368,292
Approved Change Orders (001 – 035)	\$ 8,197,418 (includes Alternates and Exterior Repair)
Current Contract Amount	\$ 63,565,710

Change Proposal Status (inc WSST)

Executed Change Proposals	131 ea	Amount	\$5,447,000
Change Proposals in Process	119 ea	Amount	\$1,496,000

Note: Included in the Executed Change Proposals are significant changes that are funded by other sources than the Owner Contingency. These include \$1,754,000 for Exterior Repair, \$336,000 for Expansion of AFIS into NE corner of Floor 1A, tenant relocation costs budgeted in the move budget section of the CASP project and major maintenance.

Request for Information

RFIs Issued to Date	580 ea
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Work Completed this Month:

In the month of May, Skanska had substantially completed from the Basement to the Third Floor West included in the Phase I scope of work. Skanska continued progress on the Fourth, Fifth, Sixth, Seventh, and started on the Eighth and Ninth Floor West this month. A more detailed recap of activity by floor is listed below.

Third Floor West

Phase I was substantially complete April 30, 2003 and is currently occupied by King County.

Fourth Floor West

The month of May on the 4th floor was spent completing the mechanical and electrical rough in activities along with the drywall taping and finishing. The Baseline schedule completion date for the fourth floor of July 10th was revised to August 20, 2003 in February 2003 due to the schedule impacts on the 1st floors relating to the Power File structural modifications and the Interim Court Changes. Currently, Skanska is on schedule to turn over the 4th floor July 11th. Skanska is concentrating on expediting the turn over of this floor to satisfy the County's request to move its personnel from the 10th floor West to the 4th floor. However, the expedited turn over of the 4th floor will impede the turn over of the 5th floor West.

Fifth Floor West

The 5th floor is trailing the 4th floor by about two weeks due to expediting the 4th floor and revising the finish schedule on the 4th, 5th, and 6th floors. Carpet color selections were made April 24, 2003 by King County, so Skanska expedited carpet delivery in order to complete the floor by the end of July 2003. Wall framing and associated mechanical and electrical was built back after the hybrid beams and other structural work was completed in early May. Mechanical and electrical ceiling rough in was also completed this month along with the installation of the drywall. Ceiling grid will start at the beginning of June as we move towards a 5th floor completion around July 22nd.

Sixth Floor West

Structural steel installation started on May 1st, 2003 and continued through the end of the month along with the relocation and removal of the mechanical and electrical equipment to accommodate the installation of the hybrid beams. The major schedule revision to the 6th floor was 6th floor tenant improvements to accommodate temporary tenants.

Seventh Floor West

The work on the 7th floor started on schedule the first week in May with clay tile and soft wall demo. The concrete column jackets were poured this month along with the installation of all carbon fiber at the concrete column locations. The structural steel is on schedule to start the 1st of June and continue throughout the month. There were no significant schedule impacts to the seventh floor during the month.

Eighth Floor

Skanska started the 8th floor on schedule, May 13th 2003. Demolition and abatement continued throughout the month of May.

Ninth Floor

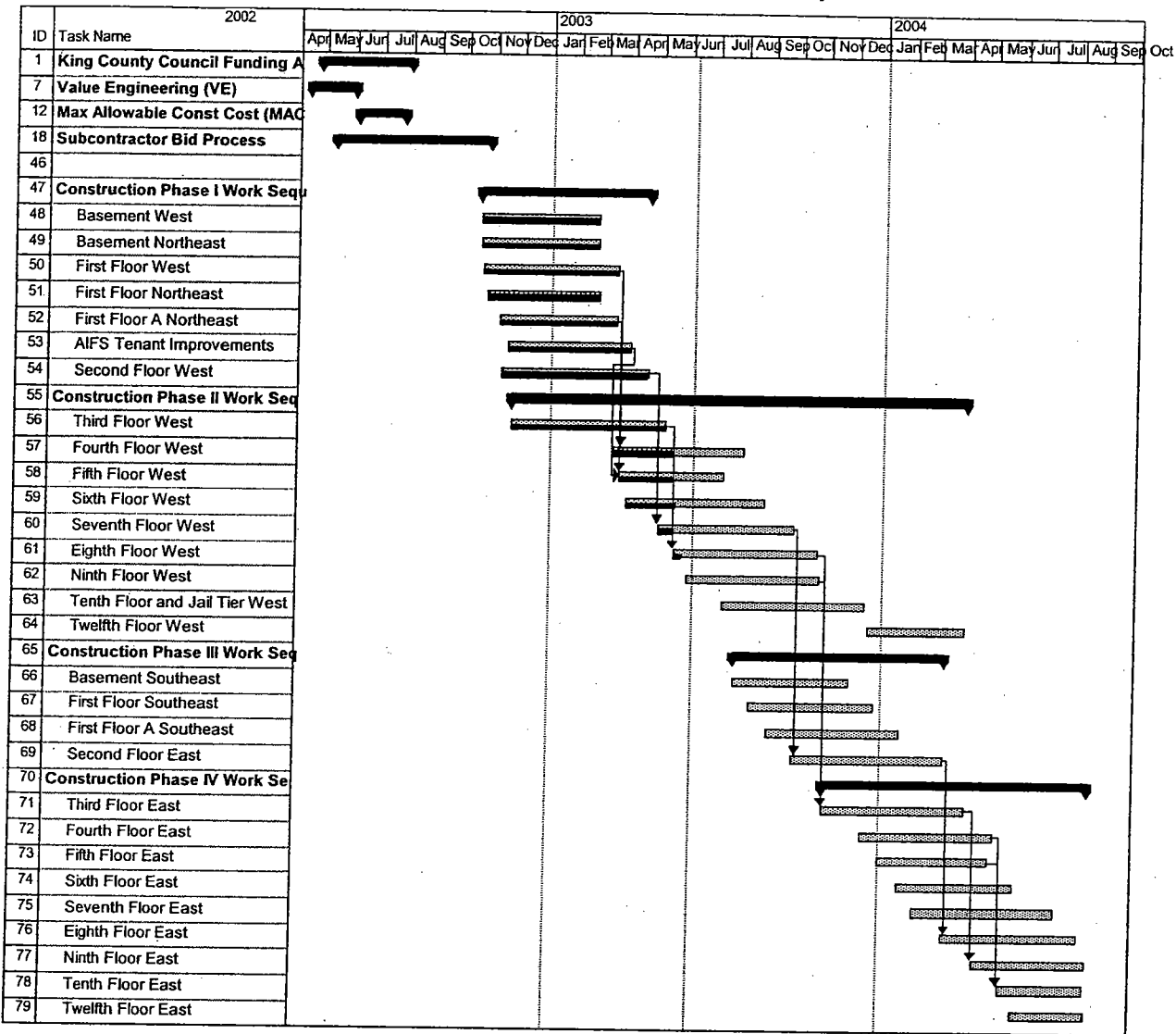
The Ninth floor started on schedule on May 20th where temporary protection, utility identification, marking, and abatement proceeded toward the end of the month.

Other Work Areas

Skanska is proceeding with the exterior restoration and cornice repair design revision and is currently developing a detailed schedule to incorporate into the project schedule taking into account the 10th - 12th floor occupants. Further discussions with Seneca and King County will be had regarding the schedule for this work.

Stairwells 1 and 2 have new walls constructed to the bottom of Level 5. Demolition of the stairwells from Level 6 to Level 9 is in process. There was an unforeseen condition where the clay tile stairwell walls extended continuous from the 6-9 floors in lieu of being supported at each floor level. Demolition had to be performed from the 9th floor down. Overtime may be required to maintain schedule and will be evaluated as we progress.

Construction Summary Schedule



SECTION 4 – MOVE PLAN

During May, the County successfully moved 8th and 9th floor west tenants to temporary locations and relocated tenants back to floor 3. As of May 31, the West Zones of floors 4, 5, 6, 7, 8 and 9 have been cleared of County tenants and vacated for contractor construction activities.

The county is preparing to relocate 10th floor west courtroom, Council, District Court and DAJD Work-Release operations in July to 4th or 5th floor renovated spaces when the contractor returns those floors to the County. Work Release will consolidate their 10th floor operations and relocate portions of their operations to Yesler Building spaces. Remaining portions of the 10th floor, including KC TV and Council Chamber areas, are scheduled to remain co-occupied, with minimal impact.

When construction on Floor 4W space is complete there will be sufficient courtroom space in the Courthouse to vacate the Yesler facilities and return Superior Court courtroom operations, in total, to the Courthouse. CSP is currently planning to vacate Yesler temporary facilities by the end of July.

12th floor Council space is scheduled to be partially impacted in early August. Areas at the North and South ends of the west side of the building (grid lines 1 and 16 as well as stairwells 1 and 2) will be cleared to facilitate installation of structural steel and seismic bracing. Remaining portions of the 12th floor west zone will be vacated mid December. Current planning calls for the Council's 12th floor operations to be relocated to furnished off site office facilities, for approximately 3 months to facilitate completion of 12th floor work and reduce the daily impact to the Council's operation.

The graphic schedule below illustrates for the building tenants the timing of move out through construction by floor. Both county personnel and the contractor are working cooperatively to coordinate on-going tenant moves

KING COUNTY COURTHOUSE TENANT MOVE AND CONSTRUCTION SCHEDULE

Tenant Move Deadline	Construction Phase	Tenant Move Deadline	Construction Phase
12/03	8/10/03 - 12/09/03	Colocate	5/19/04 - 8/12/04
7/03	7/06/03 - 12/11/03	Colocate	5/05/04 - 8/10/04
5/25/2003	5/25/03 - 10/23/03	4/4/2004	4/04/04 - 8/12/04
5/11/2003	5/11/03 - 10/21/03	3/7/2004	3/07/04 - 6/03/04
4/28/2003	4/29/03 - 9/17/03	2/1/2004	2/1/04 - 7/09/04
Complete	3/26/03 - 8/22/03	1/18/2004	1/18/04 - 5/25/04
Complete	3/18/03 - 7/10/03	12/24/2003	12/24/03 - 4/29/04
Complete	2/23/03 - 7/10/03	12/7/2003	12/07/03 - 4/29/04
Complete	11/17/02 - 5/06/03	11/9/2003	1/19/04 - 7/03/04
Complete	10/14/02 - 4/14/03	9/21/2003	9/21/03 - 6/03/04
Complete	Complete	7/20/2003	7/20/03 - 1/20/04
Complete	Complete	7/20/2003	7/20/03 - 12/23/03
Complete	Complete	7/20/2003	7/20/03 - 11/25/03

WEST SIDE

* 4 1/24/03 core holes and install steel columns

* Limited work will occur in these areas prior to Construction Phase to accommodate steel installation on floor below

EAST SIDE

* 3 10/31/03 core holes and install steel columns

SECTION 5 – BUDGET REPORT

Overview – Seismic Project

The total project budget for the Seismic Project has been set at \$83,245,000. The Guaranteed Contract cost for construction of the Seismic Project including sales tax is \$56,110,000 through Change Order #35, including \$669,000 for Major Maintenance funded outside of the Seismic Project. The total seismic project cost to date is \$38,080,000. In addition, major maintenance costs to date are \$213,000.

The project is currently showing a very modest unfavorable budget variance, in Relocation Costs and Administration, both caused by additional costs over line items in the budget for County personnel. The coordination of final finishes with end users and move coordination has taken more effort than originally anticipated. However, these variances are well within available contingency.

We are tracking separately the Major Maintenance costs. Through Change Order #35, there is a total of \$669,000 of maintenance costs proposed to be funded by Maintenance Reserve Funds of \$500,000 in 2003 and \$500,000 again in 2004.

Acct.	BUDGET					(F) Total Costs Incurred to Date	% Paid	EXPECTED COSTS		VARIANCE (I) Over/(Under) H + F - E - I
	(B) 7/24/02 Budget	(C) Budget Transfers	(D) Approved Budget Revisions	(E) Revised Budget	(G) Expected Costs			(H) Balance to Complete		
Design	6,155,895	253,773	-	6,409,668	5,108,600	80%	6,409,668	1,301,067	0	
Construction & Testing	56,702,422	970,606	-	57,673,028	24,338,087	42%	57,673,028	33,334,941	0	
Relocation Project	7,527,951	(713,424)	-	6,814,528	3,473,369	51%	6,841,976	3,368,607	27448	
Contingency	6,219,233	(1,152,365)	-	5,066,869	-	0%	5,066,869	5,066,869	0	
Art	680,478	-	-	680,478	577,978	85%	680,478	102,500	0	
Administration & Project Management	5,958,905	641,409	-	6,600,314	4,582,265	69%	6,605,791	2,023,526	5477	
PROJECT TOTALS	\$ 83,244,884	\$ 0	\$	\$ 83,244,884	\$ 38,080,299	46%	\$ 83,277,809	\$ 45,197,510	\$ 32,925	
MAJOR MAINTENANCE TOTALS	\$	\$	\$ 500,000	\$ 500,000	\$ 212,932	43%	\$ 668,591	\$ 455,659	\$ 168,591	

Overview – AFIS Tenant Improvements

The total project budget for the AFIS project tracked by Seneca is \$2,451,000. The Guaranteed Contract Cost for construction including sales tax is \$2,615,000 through Change Order #35. Currently, there is a \$492,000 shortfall due primarily to AFIS expansion. In addition, Seneca recommends that contingency be increased for the \$1,500,000 of construction in future phases. The total project cost to date for the construction project is \$1,273,000.

Because of significant increases in scope, including expansion into adjacent space and the addition of steel bracing to support the AFIS power files, additional funds will be required to complete the project. Currently, the county is preparing supplemental budget requests.

Acct.	BUDGET					(F) Total Costs Incurred to Date	% Paid	EXPECTED COSTS		VARIANCE (I) Over/(Under) H + F - E - I
	(B) Budget	(C) Budget Transfers	(D) Approved Budget Revisions	(E) Revised Budget	(G) Expected Costs			(H) Balance to Complete		
A & E	74,255	38,200	-	112,455	58,085	52%	112,641	54,555	186	
Construction	2,069,179	617,872	-	2,687,051	1,161,645	43%	2,687,051	1,525,406	-	
Equipment	61,000	-	-	61,000	22,848	37%	61,000	38,152	-	
Contingency	142,561	(656,072)	22,467	(491,044)	-	0%	-	-	491,044	
Art	23,109	-	-	23,109	-	0%	23,109	23,109	-	
Project Administration	48,300	-	-	48,300	19,500	40%	48,300	28,800	-	
County Costs	10,000	-	-	10,000	11,200	112%	11,200	-	1,200	
Project Totals	2,428,404	0	22,467	2,450,871	1,273,278	52%	2,943,300	1,670,022	492,429	

Overview – Stairwells 1, 2, 5 and 6 Repairs

The total project budget for Stairwells 1, 2, 5, and 6 construction tracked by Seneca is \$1,729,321. The Guaranteed Contract Cost for construction including sales tax is \$1,382,000 after execution of Change Order #35. The total project cost to date for the construction phase of the project is \$475,000.

Acct.	BUDGET				(F) Total Costs Incurred to Date	% Paid	EXPECTED COSTS		VARIANCE (I) Over/(Under) H + F - E - I
	(B) Budget	(C) Budget Transfers	(D) Approved Budget Revisions	(E) Revised Budget			(G) Expected Costs	(H) Balance to Complete	
A & E	78,380	1,581	-	79,961	42,342	53%	79,961	37,619	-
Construction	1,411,090	(29,085)	-	1,382,005	400,407	29%	1,382,005	981,598	-
Contingency	179,841	27,504	-	207,345	-	0%	207,345	207,345	-
Project Administration	60,010	-	-	60,010	32,472	54%	64,732	32,260	4,722
Project Totals	1,729,321	0		1,729,321	475,222	27.5%	1,734,044	1,258,822	4,722

Overview – Clay Tile Wall Repair

The total project budget for Clay Tile Wall repair tracked by Seneca is \$1,563,401. The Guaranteed Contract Cost for construction including sales tax is \$1,396,000 after execution of Change Order #35. The total project cost to date for the construction project is \$247,000.

Acct.	BUDGET				(F) Total Costs Incurred to Date	% Paid	EXPECTED COSTS		VARIANCE (I) Over/(Under) H + F - E - I
	(B) Budget	(C) Budget Transfers	(D) Approved Budget Revisions	(E) Revised Budget			(G) Expected Costs	(H) Balance to Complete	
A & E	35,760	-	-	35,760	-	0%	35,760	35,760	-
Construction	1,453,337	(57,247)	-	1,396,090	224,266	16%	1,396,090	1,171,824	-
Contingency	14,294	57,247	-	71,541	-	0%	71,541	71,541	-
Project Administration	60,010	-	-	60,010	22,750	38%	60,010	37,260	-
Project Totals	1,563,401			1,563,401	247,016	16%	1,563,401	1,316,385	

Overview – Exterior Repair

The total project budget for Exterior Repair tracked by Seneca is \$2,089,000. The Guaranteed Contract Cost for construction including sales tax is \$1,754,000. Construction work on this project will begin in July 2003. The project budget is outlined below.

Acct.	BUDGET				(F) Total Costs Incurred to Date	% Paid	EXPECTED COSTS		VARIANCE (I) Over/(Under) H + F - E - I
	(B) Budget	(C) Budget Transfers	(D) Approved Budget Revisions	(E) Revised Budget			(G) Expected Costs	(H) Balance to Complete	
A & E	31,750	-	-	31,750	2,213	7%	31,750	29,537	-
Construction	1,755,069	-	-	1,755,069	-	0%	1,755,069	1,755,069	-
Equipment	-	-	-	-	-	0%	-	-	-
Contingency	206,103	-	-	206,103	-	0%	206,103	206,103	-
Art	-	-	-	-	-	0%	-	-	-
Project Administration	95,938	-	-	95,938	10,200	11%	95,938	85,738	-
Project Totals	2,088,860			2,088,860	12,413	1%	2,088,860	2,076,447	

Change Proposals

During the course of any construction project there are changes to the work that increase scope. Funding for these changes comes from Owner Contingency, Other Sources such as the Relocation Budget or Maintenance Funds, AFIS Tenant Improvements, Stairwell Repair, Clay Tile Wall Repair and Exterior Repair. Effective management and tracking of each of these changes during a project is key to a project's success. Seneca and Skanska meet weekly to review the Change Proposal Log and the status of each Change Proposal. Seneca then meets, at a minimum, twice monthly with Jim Napolitano at FMD to review Change Proposals. A recap of the Change Proposal Log follows:

			CHANGE COST ALLOCATION (including WSST)						
	Total #	TOTAL \$ VALUE	OWNER CONT. FUND	OTHER SOURCES (See note)	AFIS	STAIRWELL	CLAY TILE WALLS	EXTERIOR REPAIR (See note)	EXTERIOR REPAIR CONT (See note)
Executed Change Proposals thru CO #35	131	\$ 5,447,000	\$ 1,719,000	\$ 1,229,000	\$ 719,000	\$ 26,000		\$ 1,754,000	
Change Proposals in Process	119	\$ 1,496,000	\$ 1,150,000	\$ 300,000	\$ 45,000	\$ 0			
Total	250	\$ 6,944,000	\$ 2,869,000	\$ 1,529,000	\$ 764,000	\$ 26,000			
Additional A/E Services			292,000	-	-	-	-	-	
			3,161,000	\$ 1,529,000	\$ 764,000	\$ 26,000			
TOTAL CONTINGENCY FUNDS (including related WSST)									
			\$ 7,151,000	NA	\$ 225,000	\$ 70,000	\$ 72,000		\$ 206,000
BALANCE AFTER TOTAL EXECUTED AND POTENTIAL CHANGES									
			\$ 3,990,000	NA	\$ (539,000)	\$ 44,000	\$ 72,000		

Note:

- Other Sources include items budgeted elsewhere in the total project budget for the Seismic Project and reimbursement from County maintenance funds. It is intended that none of these costs in "Other Sources" will be funded by the Owner Contingency Fund.
- Exterior Repair is funded by 210M11, 210K16 and 134T10.

Allowances

During construction contract negotiations there were a number of items that could not be adequately defined or quantified. Such items include, for example, temporary clean up, temporary partitions, acoustical blankets for noise mitigation and street use permit. For these items, an allowance was agreed to. Seneca and Skanska track the status of these allowances monthly. If the actual costs exceed the allowance any increase will be funded by the owner's project contingency and the construction contract adjusted accordingly. Any savings in the Allowances will accrue to the owner. Based on the current use of these funds, we expect to need approximately \$650,000 from the project contingency for these general contractor allowances.

Asbestos abatement was also handled as an allowance. Skanska has encountered significantly more asbestos than anticipated from the reports issues by the County. The original allowance for asbestos abatement was \$450,000 in the construction contract. Based on the asbestos uncovered through the ninth floor, the total contractor cost for asbestos abatement for the total building is estimated to be \$1,500,000, requiring \$1,000,000 from contingency. This budget assumes there is limited asbestos on recently renovated floors 10-12.

A graph of the contingency status is included as Exhibit 1 at the end of this section of the report.

Change Order Causes

As part of the Change Proposal Log, the team tracks the cause of all Change Proposal and Pending Issue. A cause summary for executed Change Orders through Change Order #35 is outlined below. These causes include changes to the Seismic Project as well as AFIS, Stairwells and Clay Tile Wall Repair as defined above.

King County Change including Maintenance work	24%
Unforeseen Conditions	23%
Regulatory Requirement	6%
A/E Error Omission	5%
Budgeted but not originally included in Construction Contract	42%

Change Orders

Change Orders 27 through 35 have been delivered to the County for execution. Change Orders are grouped together by funding source. They total as follows:

Seismic Project Contingency		\$ 1,719,000
Other Funding Sources		\$ 1,229,000
Lobby	\$ 55,000	
Project Move Budget	\$ 505,000	
Maintenance Funds	\$ 669,000	
AFIS Contingency and Supplemental Funding		\$ 719,000
Stairwell Contingency		\$ 26,000
Exterior Repair		\$ 1,754,000
Total		\$ 5,447,000

The Change Order Log is included as Exhibit 2 at the end of this section. Details of Change Orders 27 through 35 are included in this log. Previous monthly reports contain details of prior Change Orders.

South Entry/Building Lobbies

A preliminary design for the refurbishment of the 3rd and 4th Avenue Lobbies has been completed. Skanska has put together a preliminary construction estimate. FMD is in the process of putting together an overall project budget, presentation and funding plan to present to the Council in May. \$55,000 of construction costs have been contracted to do work on the lobby, including the removal of some precast panels.

EXHIBIT 1

**King County Courthouse Seismic Project
Contingency Status (after buyout savings)**

(thru Skanska Change Order No. 35 and CPL Amendment No. 13)

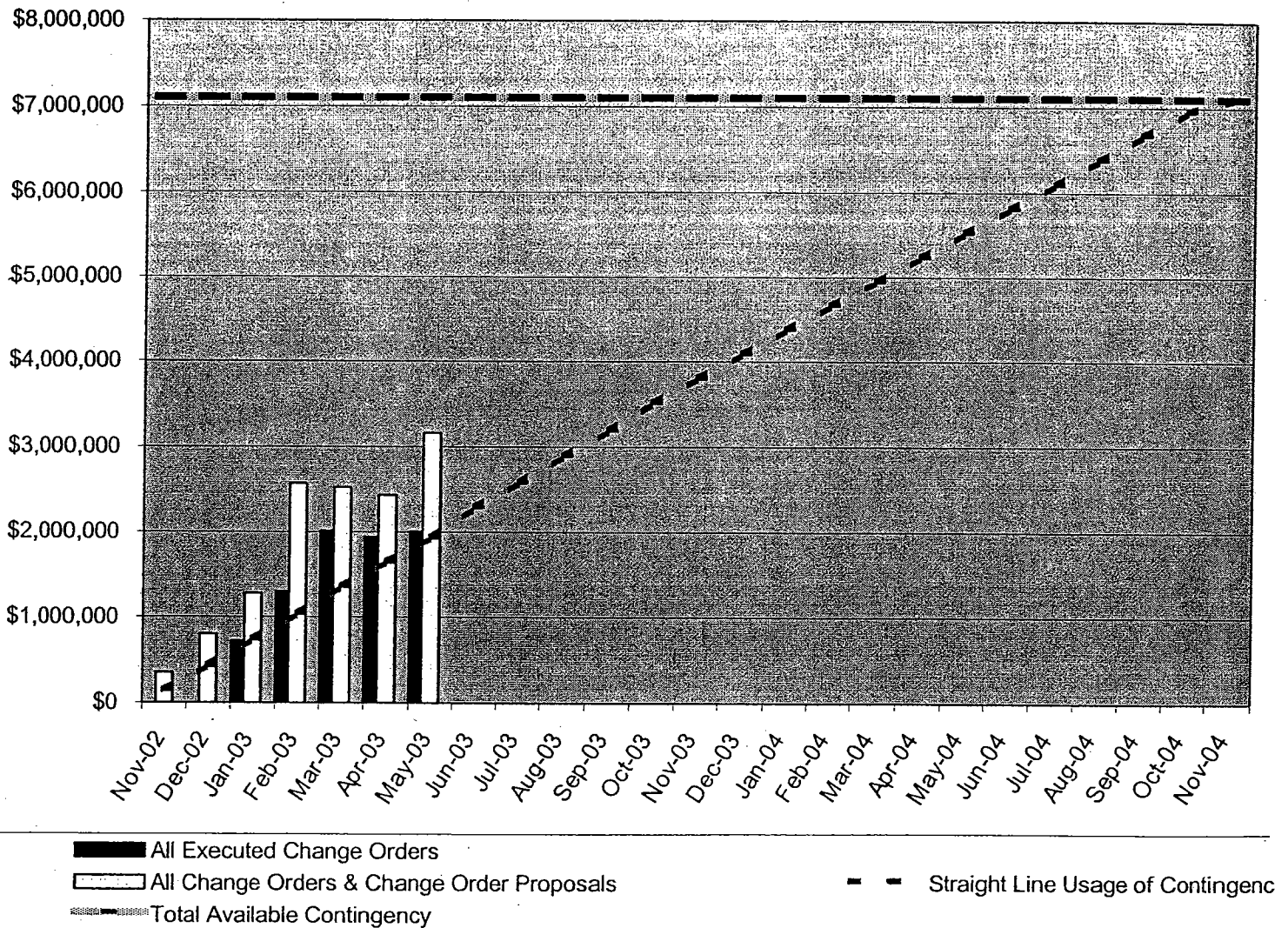


EXHIBIT 2 – CHANGE ORDER LOG

KCCH Seismic Project			Cause Code			
Baugh Skanska Inc			King County Change: 1			
Guaranteed Contract Cost Summary			Unforeseen Condition: 2			
Change Order Log			Regulatory Requirement: 3			
June 6, 2003			Damage: 7			
Schedule: 5			Other: 6			
Earthquake						
Change Orders through 35						
Proj	Case	Order	Date	Contract Sum	WSS	GC Total
B		Part 2 Construction Agreement (includes Part 1)	8-Aug-02	50,889,974	4,478,318	55,368,292
			Total	50,889,974	4,478,318	55,368,292
		Change Order 2	Subtotal	4,451,844	391,762	4,843,607
			Total	55,341,818	4,870,080	60,211,899
		Change Order 3	Subtotal	(1,967,193)	(173,113)	(2,140,306)
			Total	53,374,625	4,696,967	58,071,593
		Change Order 4	Subtotal	669,469	58,913	728,382
			Total	54,044,094	4,755,880	58,799,975
		Change Order 5	Subtotal	6,135	540	6,675
			Total	54,050,229	4,756,420	58,806,650
		Change Order 6	Subtotal	11,613	1,022	12,635
			Total	54,061,842	4,757,442	58,819,285
		Change Order 7	Subtotal	5,318	468	5,786
			Total	54,067,160	4,757,910	58,825,071
		Change Order 8	Subtotal	461,119	40,578	501,697
			Total	54,528,279	4,798,488	59,326,768
		Change Order 9	Subtotal	-5,017	-442	-5,459
			Total	54,523,262	4,798,046	59,321,309
		Change Order 10	Subtotal	25,507	2,245	27,752
			Total	54,548,769	4,800,291	59,349,061
		Change Order 11	Subtotal	19,645	1,729	21,373
			Total	54,568,414	4,802,020	59,370,434
		Change Order 12	Subtotal	324,724	28,576	353,299
			Total	54,893,138	4,830,596	59,723,733
		Change Order 13	Subtotal	138,813	12,216	151,029
			Total	55,031,951	4,842,812	59,874,762
		Change Order 14	Subtotal	8,577	755	9,332
			Total	55,040,528	4,843,567	59,884,094
		Change Order 15	Subtotal	54,055	4,757	58,812
			Total	55,094,583	4,848,324	59,942,906
		Change Order 16	Subtotal	338,051	29,749	367,800
			Total	55,432,634	4,878,072	60,310,705
		Change Order 17	Subtotal	98,975	8,710	107,685
			Total	55,531,609	4,886,782	60,418,390
		Change Order 18	Subtotal	162,148	14,269	176,417
			Total	55,693,757	4,901,051	60,594,807
		Change Order 19	Subtotal	6,684	588	7,272
			Total	55,700,441	4,901,639	60,602,079
		Change Order 20	Subtotal	48,616	4,278	52,894
			Total	55,749,057	4,905,917	60,654,973
		Change Order 21	Subtotal	0	0	0
			Total	55,749,057	4,905,917	60,654,973
		Change Order 22	Subtotal	6,398	563	6,961
			Total	55,755,455	4,906,480	60,661,934
		Change Order 23	Subtotal	45,607	4,014	49,621
			Total	55,801,062	4,910,494	60,711,555
		Change Order 24	Subtotal	14,389	1,266	15,655
			Total	55,815,451	4,911,760	60,727,210
		Change Order 25	Subtotal	138,464	12,185	150,649
			Total	55,953,915	4,923,945	60,877,859

KING COUNTY
KING COUNTY COURTHOUSE SEISMIC PROJECT
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Change Order 26					Subtotal	101,880	8,965	110,845
				Total	56,055,795	4,932,910	60,988,704	
087	A	1	I# - 86 AFIS requested revisions to the NW area	6-Mar-03	309,534	27,239	336,773	
Change Order 27					Subtotal	309,534	27,239	336,773
				Total	56,365,329	4,960,149	61,325,477	
022	E	6	I#39 - Exterior and roof cornice repairs	6-Jun-03	1,612,196	141,873	1,754,069	
Change Order 28					Subtotal	1,612,196	141,873	1,754,069
				Total	57,977,525	5,102,022	63,079,546	
123	O	2	I#164 - replace rubber base and GWB on first floor	6-Jun-03	28,389	2,498	30,887	
Change Order 29					Subtotal	28,389	2,498	30,887
				Total	58,005,914	5,104,520	63,110,433	
096	A	2	I# 160 - Revise walls in 1A26 to comply with acoustical standards	6-Jun-03	3,385	298	3,683	
090	A	1	I# 174 - Flooring revisions per tenant request	6-Jun-03	11,282	993	12,275	
120	A	6	I# 98 - Provide power and connectivity for furniture	6-Jun-03	77,443	6,815	84,258	
116	A	9	I# 122 - Misc ceiling and drywall repairs per RFI 5098 from BSI conting	6-Jun-03	-	-	-	
Change Order 30					Subtotal	92,110	8,106	100,216
				Total	58,098,024	5,112,626	63,210,649	
114	S	2	I# 104 - Provide type 4 GWB enclosure at stair #2 from Mt2-3	3-Apr-03	3,028	266	3,294	
Change Order 31					Subtotal	3,028	266	3,294
				Total	58,101,052	5,112,892	63,213,943	
124	B	2	I# 178 - per KC request replace carpet in select rooms on the 1st floor and in the basement	8-Apr-03	8,592	756	9,348	
102	B	2	I#155 - furnish and install a chain link fence and gate in C838	8-Apr-03	3,670	323	3,993	
127	B	2	I# 118 - changes associated with the as built 2nd floor reflected ceiling plan	11-Apr-03	2,286	201	2,487	
128	B	2	I# 117 - changes associated with the as built 3rd floor reflected ceiling plan	11-Apr-03	2,966	261	3,227	
132	B	1	I# - 127 per KC request install an electric lock on door W107A and reverse the door swing on door W130	16-Apr-03	2,057	181	2,238	
129	B	1	I# 133 - delete thermaluser adjusters	11-Apr-03	(23,134)	(2,036)	(25,170)	
122	B	4	I# - revisions to hybrid beams on floors 4-7.	8-Apr-03	17,898	1,575	19,473	
136	B	2	I# 208 - changes associated with the as built 5th floor reflected ceiling plan	24-Apr-03	4,044	356	4,400	
117	B	2	I#186 & 106 - box in hybrid beam where it extends below the soffit	4-Apr-03	3,758	331	4,089	
126	B	2	I# 100 - changes associated with the as built 1st floor reflected ceiling plan	22-Apr-03	9,006	792	9,798	
119	B	4	I# 119 - Install cable tray on level 2 in tele comm closet	7-Apr-03	784	69	853	
125	B	8	I# 194 - repair and replace asphalt at loading dock - funded from BSI contingency.	17-Apr-03	-	-	-	
115	B	2	I# 131 - provide conduit in lieu of cable tray over 3rd ave entrance	3-Apr-03	22,377	1,969	24,346	
121	B	4	I# 190 - provide new cabinets in lieu of relocated on the 2nd floor N	8-Apr-03	5,583	491	6,074	
106	B	2	I# 42 - build back of finishes due to structural installation - funded from BSI contingency.	11-Apr-03	-	-	-	
Change Order 32					Subtotal	59,887	5,269	65,156
				Total	58,160,939	5,118,161	63,279,099	
144	A	2	I# 132 - relocation of light fixtures for mobile file installation	1-May-03	12,638	1,112	13,750	
130	A	4	I# 72 - additional work required for the installation of AHU 5	30-Apr-03	55,400	4,875	60,275	
Change Order 33					Subtotal	68,038	5,987	74,025
				Total	58,228,977	5,124,148	63,353,124	
142	O	3	I# - 148 provide electrical grounding and preaction for the entire building	29-Apr-03	94,937	8,354	103,291	
112	O	3	I# 73 - provide conduit support basement through 2	2-Apr-03	97,380	8,569	105,949	
Change Order 34					Subtotal	192,317	16,923	209,240
				Total	58,421,294	5,141,071	63,562,364	
138	O	1	I#227 - add blocking for temp. judges benches	29-Apr-03	3,075	271	3,346	
Change Order 35					Subtotal	3,075	271	3,346
				Total	58,424,369	5,141,342	63,565,710	
Contract Total					58,424,369	5,141,342	63,565,710	

Project Code
 Base Seismic AFIS Claytile Stairwells Other Exterior Repair
Building Effect: A= entire building B= one floor

SECTION 6 – LOOK AHEAD

Contracts

- Execution of Change Orders 27 through 35

Communication

- Continuation of project meetings on an as needed bases with building tenants including Judges Executive Committee and Building Engineers
- Continue to update project web site with news and photos
- Continue to update project status signage in courthouse
- Project tours as requested by staff and/or council

Construction Activity in June

- Complete work on Floors 4W, including temporary courts.
- Finish work on Floor 5W
- Electrical and mechanical rough in on Floors 6W
- Structural steel installation on Floor 7W
- Begin structural work on Floor 8W
- Complete asbestos abatement on Floor 9W

Move Plan

- Coordination with Superior Court on courtroom availability, particularly during summer 2003
- Planning for relocation in July back on to Floors 4 and 5
- Planning for relocation of tenants off of Floor 10 in July

Budget

- Monitor project Budget