



King County

**King County
Form Based Code Pilot Project**

Special District Overlay Text

Executive Recommended

March 1, 2010

TABLE OF CONTENTS

ARTICLE 1: INTRODUCTION	1-1
1. Authority.....	1-1
2. Intent and Purpose.....	1-2
3. Applicability	1-3
4. Zoning and Development Process	1-4
5. Violations	1-7
6. Non-Conformities.....	1-7
7. Severability.....	1-7
ARTICLE 2: FRAMEWORK: THE TRANSECT.....	2-1
1. Introduction	2-1
2. Description of Transect Zones	2-2
3. Transect Standards	2-4

TABLE OF CONTENTS

ARTICLE 3: BUILDING STANDARDS..... 3-1

- 1. Introduction 3-1
- 2. T1 Standards 3-2
- 3. T2A Standards 3-3
- 4. T2B Standards 3-13
- 5. T2C Standards 3-23
- 6. T3 Standards 3-34
- 7. T4 Standards 3-45
- 8. T5 Standards 3-56
- 9. Civic Standards 3-67
- 10. Historic Building Standards..... 3-67

ARTICLE 4: STREET STANDARDS 4-1

- 1. Introduction 4-1
- 2. General Standards (All Transect Zones) 4-1
- 3. T1 /T2A/T2B Street Standards..... 4-3
- 4. T2C/T3 Standards 4-8
- 5. T4 Street Standards..... 4-14
- 6. T5 Street Standards..... 4-24
- 7. Alleys (T3/T4/T5) 4-34

ARTICLE 5: CIVIC SPACE STANDARDS.....5-1

- 1. Introduction5-1
- 2. Regional Park5-2
- 3. Neighborhood Park (Green)5-4
- 4. Square.....5-6
- 5. Plaza5-8
- 6. Playground5-10

ARTICLE 6: ARCHITECTURAL STANDARDS6-1

- 1. Introduction6-1
- 2. General (T2B, T2C, T3, T4, T5)6-2

ARTICLE 7: DEFINITIONS7-1

- 1. Purpose.....7-1
- 2. Definitions of Specialized Terms and Phrases7-1

INTRODUCTION

This document was developed as part of a pilot project conducted by King County's Department of Development and Environmental Services. The pilot project is intended to examine the feasibility of replacing the current conventional land use code with a Form-Based Code. In the Urban Area, the code's goal is to allow greater flexibility to developers and land owners while encouraging the development of vibrant, mixed-use neighborhoods. For Rural Area residents and land owners, the Code's goal is simplified and flexible land use regulations to provide increased predictability in the development process and create more opportunities for rural businesses.

To assist in the development of the new Form-Based Code, King County selected three initial demonstration areas for the pilot project. These are located in Bear Creek, East Renton, and Martin Luther King Jr. Way west of Renton. For more detail on the exact boundaries of the pilot areas, and to see updates on the project, refer to the King County website:
<http://www.kingcounty.gov/property/permits/codes/legislation/detail/FormBasedCodeProject.aspx>

1. AUTHORITY

The action of the King County Council (Washington State) in the adoption of this Form-Based Code ("this Code") is authorized under the State Constitution, the County Charter, and the King County Code.

This Code was adopted as one of the instruments to implement the purposes and objectives of the adopted King County Comprehensive Plan. This Code is declared to be in accord with and in furtherance of the Comprehensive Plan.

This Code was adopted to promote the health, safety, and general welfare of King County, Washington, and its citizens. This Code is designed to assist the County in:

- Protecting the natural environment;
- Conserving land, energy, and natural resources;
- Reducing vehicular traffic and congestion;

- Promoting the health benefits of a walkable pedestrian environment;
- Preserving historic resources and buildings;
- Providing affordable housing options;
- Promoting green building and climate protection
- Reducing suburban sprawl; and
- Improving the character and quality of the built environment.

This Code was adopted and may be amended by vote of the County Council.

2. INTENT AND PURPOSE

The intent and purpose of this Code is to:

- Conserve and protect natural areas that are not suitable for development.
- Conserve and protect productive agricultural lands in the County;
- Establish Clustered Land Development Communities in rural and agricultural areas to preserve natural open space and productive agricultural lands;
- To establish compact Traditional Neighborhood Communities and Transit-Oriented Development Communities as the preferred pattern of development within suburban and rural areas and single-use or limited-use developments as the exception;
- To establish mixed-use neighborhoods where daily activities should occur within walking distance of most suburban and urban dwellings, allowing independence to those who do not drive and giving residents with automobiles a range of mobility options;
- To establish neighborhoods with an interconnected networks of streets to disperse traffic, reduce the length of automobile trips, and promote walking and biking;
- To establish neighborhoods with a range of housing types and price levels to accommodate diverse ages and incomes;
- To establish neighborhoods with appropriate civic spaces and civic buildings;
- To create neighborhoods with buildings that contribute to the physical definition of streets and civic spaces;
- To promote buildings and landscape designs that respond to local climate, topography, culture, and building practices; and
- To preserve historic buildings to affirm the continuity and evolution of society.

3. APPLICABILITY

A. Introduction

This Code applies to all properties that have been rezoned with the Form-Based Code Overlay Zone. Existing communities and underutilized properties that are proposed for development or redevelopment may be rezoned with the Form-Based Code Overlay Zone. The process for rezoning is described in Section 4 of this Article (Zoning and Development Process) of this article. Once an area is rezoned with the Form-Based Code Overlay, this Code shall be used to regulate the design of new streets, new buildings, and new public spaces.

B. Terms

The provisions of this Code are activated by “shall” when required; “should” when recommended; and “may” when optional. Technical terms used throughout this Code may be defined in Article 8 (Definitions of Terms). Those terms not defined in Article 8 shall be accorded their commonly accepted meanings. In the event of conflicts between these definitions and those of the Existing Codes, the definitions of this Code shall take precedence.

C. Conflicts with Other Codes

The provisions of this Code, when in conflict, shall take precedence over those of other codes, ordinances, regulations, and standards except the following:

- Building Code (Chapters 16.04 and 16.05 of the King County Code)
- Fire Code (Title 17 of the King County Code)
- Energy Code (Chapter 19.27A of the Revised Code of Washington)
- Plumbing Code (Chapter 16.32 of the King County Code)
- International Mechanical Code (Chapter 16.12 of the King County Code)
- Ornamental Pool Code (Chapter 16.78 of the King County Code)
- Electrical Code (Chapter 19.28 of the Revised Code of Washington)

The provisions of this Code, when in conflict, shall take precedence over those of other codes, ordinances, regulations, and standards except as regards issues not covered by this Code. This includes:

- Provisions of the King County Code applicable to land development (e.g., the Land Segregation Code – Title 19A,
- Provisions of the Planning Code – Title 20 (e.g. Environmental Review and Comprehensive Plan)

- Provisions of the Zoning Code – Title 21A
- Provisions of the King County Road Design and Construction Standards – Chapter 14.42

D. Diagrams and Illustrations

Diagrams and illustrations are an integral part of this Code and are used to help explain standards and guidelines. The diagrams and illustrations are for illustrative purposes only. When in conflict, written text shall take precedence over diagrams and illustrations.

4. ZONING AND DEVELOPMENT PROCESS

A. Introduction

Existing communities and large underutilized properties that are proposed for development or redevelopment may be rezoned with the Form-Based Code Overlay Zone. The process for each type of rezoning is described below:

B. Process for Existing Communities

Existing communities are primarily developed areas that are over 40 acres in size where opportunities for new development are limited to smaller infill development projects and redevelopment projects. The Department of Development and Environmental Services may prepare an area zoning study to consider whether to recommend the Form Based Code Overlay Zone to an existing community. The rezoning application shall comply with environmental review requirements of the State Environmental Policy Act as outlined in King County Code Chapter 20.44 (County Environmental Procedures). If the area zoning study recommends application of the Form Based Code Overlay Zone, it shall include a Draft Regulating Plan (or multiple Regulating Plans) and other supporting studies and documents. A Regulating Plan is a map that shows the boundaries of the Overlay Zone and assigns transect zones (see Article 2, Framework: The Transect) to the existing properties within the Overlay Zone. The Regulating Plan also identifies lots for private and civic buildings and civic spaces, and shows the locations of existing and proposed street types.

The Department shall hold one or more public meetings in the area where the form based code overlay zone is proposed. A recommendation to apply the Form Based Code Overlay Zone to an existing community shall be transmitted to the King County Council as part of the Executive's recommended Comprehensive Plan Updates transmitted not later than March 1 of each year.

If the County Council approves application of the Form Based Code Overlay Zone to an existing community, the Regulating Plan and this Code shall replace the existing zoning of the properties within the Overlay Zone with the new Form-Based Transect Zones established by this Code. This Code (rather than the King County Zoning Ordinance) will then become the exclusive and mandatory zoning regulations for properties in the community, and its provisions shall be applied in their entirety. Subsequent development applications shall be considered by the Department following the procedures in Titles 20 and 21A of the King County Code.

The following communities are proposed to be rezoned with the Form-Based Code Overlay Zone:

- Cottage Lake
- East Renton Plateau
- SR 900 and South 129th Street Area

The text of the form-based code is proposed to be adopted as a new Special district Overlay for each of the pilot project areas, therefore serving as the regulating plan for the pilot projects.

D. Warrants and Variances

A deviation from the requirements of this Code may be approved by either Warrant or Variance.

A Warrant is an administrative ruling that would permit a practice that is not consistent with or covered by a specific provision of this Code, but is justified by the Intent and Purpose of the Code (see Section 2: Intent and Purpose, of this Article). A Variance is a deviation from a standard within this Code due to a unique feature of the site that creates a hardship on the property owner. The Director shall determine whether a deviation requires a Warrant or a Variance.

The Director shall have the authority to approve or disapprove a request for a Warrant. The decision shall be made in writing and made a permanent part of the applicable Regulating Plan. The Director is not authorized to grant warrants and variances for the following standards and requirements:

- The maximum dimensions of traffic lanes (see Article 4: Street Standards)
- The required provision of Rear Alleys and Rear Lanes in the T4 and T5 Transects (see Article 3: Site and Building Standards).
- The minimum requirements for parking (see Article 3: Site and Building Standards).
- Transect allocations required for each Community Type (see Article 6: New Communities).
- The maximum Block Perimeter and Block Face for the T3, T4, and T5 Transects (see Article 3: Site and Building Standards, and Article 6: New Communities).
- Parking Location Standards (see Article 3: Site and Building Standards).
- Signage Standards (See Article 7: Architectural Standards)

The Director shall have the authority to approve or deny variances, which are subject to appeal to the King County Hearing Examiner as provided for Type 2 decisions under Chapters 20.20.020 and 20.24 of the King County Code.

5. VIOLATIONS

If a violation of an approved Regulating Plan occurs during construction, or if any construction, site work, or development is commenced without an approved plan, the Director shall have the right to require the owner to stop, remove, and/or mitigate the violation, or to secure a Variance to cover the violation. All violations of this code shall be processed in compliance with Title 23 (Code Compliance) of the King County Code.

6. NON-CONFORMITIES

The rezoning of properties to this Code may create situation where existing buildings and uses on properties do not comply with the standards of this Code. Such buildings and uses shall be considered legal non-conforming uses and buildings. Chapter 21A.32 (General Provisions – Nonconformance, Temporary Uses, and Re-Use of Facilities) of the King County Code shall be used to regulate legal non-conforming buildings and uses.

7. SEVERABILITY

If a court of competent jurisdiction determines that a provision of this Code is unconstitutional or invalid, that determination shall not affect the validity of other parts of this Code.

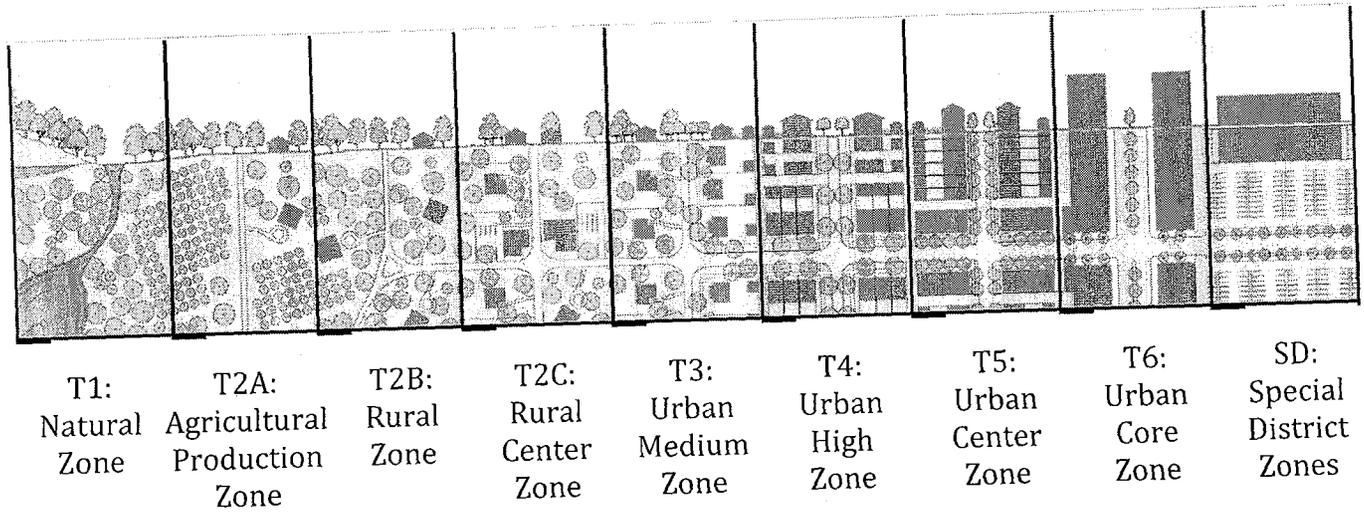
This page intentionally left blank.

FRAMEWORK: THE TRANSECT

1. INTRODUCTION

A. Purpose and Intent

Within King County, there are a variety of environmental conditions ranging from natural woodlands and riparian areas to urban city centers. In general, the environmental conditions of a given place can be characterized by the transect, a cross-section of the environment showing a range of different natural and developed environments. The transect is used as a framework for this Code. The transect used in this Code is divided into six specific transect zones (Natural, Agricultural Production, Rural, Rural Center, Urban Medium, Urban High, Urban Center, and Urban Core) and a variety of special district zones:



Transect zones are intended to regulate and promote development that reinforces the desired characteristics and qualities of each specific zone. General descriptions of each transect zone are provided below.

2. DESCRIPTIONS OF TRANSECT ZONES

A. T1 (Natural Zone)

The T1 zone is assigned to land approximating or reverting to a wilderness condition that is unsuitable for settlement due to topography, hydrology, vegetation, or other environmental condition. These lands include steep hillsides, riparian corridors, major flood plains, lakes, wetlands, earthquake faults, and woodlands. Lands may be used for passive regional parks and trails. Buildings are not allowed in the T1 zone, except for public utility structures. Roads are generally designed to respond to natural conditions, such as topography and water bodies. Roads are designed to reinforce the natural character of the zone and generally contain soft shoulders and drainage swales.

B. T2A (Agricultural Production Zone)

The T2A zone is assigned to sparsely settled land that is generally in a cultivated state. These lands are generally used for agricultural-related activities, but natural and uncultivated land may also be present. Lands may also be used for passive regional parks and trails. The T2A Zone may include buildings that are up to two stories high with deep and variable setbacks. Horses and other farm animals are allowed in this zone in compliance with King County Code Section 21A.30.030 (Animal regulations – Livestock) of the King County Zoning Code. Roads are designed to reinforce the rural character of the zone and generally contain soft shoulders and drainage swales.

C. T2B (Rural Zone)

The T2B zone is assigned to rural land in open or cultivated states. These lands are generally occupied by large lot rural residential properties. Limited agricultural and commercial activities may also be present. Lands may also be used for playgrounds, passive regional parks, and trails. The T2B zone may include buildings that are up to two stories high with deep and variable setbacks. Horses and other farm animals are allowed in this zone in compliance with Section 21A.30.030 (Animal regulations – Livestock) of the King County Zoning Code. Roads are designed to reinforce the rural character of the zone and generally contain soft shoulders and drainage swales.

D. T2C (Rural Center Zone)

The T2C zone is assigned to land appropriate for rural centers with a mix of building types and uses. These lands are generally occupied by commercial buildings and also may include some mixed-use buildings. Civic and religious buildings may also be present. Lands may also be used for playgrounds, squares, and plazas. The buildings are one-to-two stories high with shallow or no front setbacks and small or no side and rear yards. Block sizes vary and are representative of the patterns established in the T2B zone.

E. T3 (Urban Medium Zone)

The T3 zone is assigned to land appropriate for low density development. These lands are generally occupied by detached residential houses. Limited agricultural, commercial, civic, and religious activities may also be present. Lands may also be used for playgrounds and passive and active neighborhood parks. The T3 Zone may include buildings that are up to two stories high with variable front and side yard setbacks. Depending on the desired character of the community, roads and streets may be designed to reinforce a rural character by incorporating soft shoulders, paths, and drainage swales, or they may be designed to reinforce a more urban character by incorporating curb and gutters, parkways with street trees, and sidewalks.

F. T4 (Urban High Zone)

The T4 zone is assigned to land appropriate for neighborhoods with a mix of building types and uses. These lands are generally occupied by detached and attached residential houses, small apartment buildings, and small commercial or mixed-use buildings. Civic and religious buildings may also be present. Lands may also be used for playgrounds, passive and active neighborhood parks, and squares. The buildings are one-to-three stories high with shallow front setbacks and small or no side and rear yards. Block sizes are limited to create a walkable and well-connected network of streets. Street are designed to encourage pedestrian activity by generally including on-street parking, curbs and gutters, parkways with street trees, and wide sidewalks.

G. T5 (Urban Center Zone)

The T5 zone is assigned to land appropriate for neighborhood centers with a mix of building types and uses. These lands are generally occupied by attached residential houses, apartment buildings, and commercial or mixed-use buildings. Civic and religious buildings may also be present. Lands may also be used for playgrounds, squares, and plazas. The buildings are two-to-four stories high with shallow or no front setbacks and small or no side and rear yards. Block sizes are limited to create a walkable and well connected network of streets. Street are designed to encourage pedestrian activity by generally including on-street parking, curbs and gutters, parkways with street trees, and wide sidewalks.

H. T6 (Urban Core Zone)

The T6 zone is assigned to land appropriate for development with the highest density and height and with the greatest variety of uses in comparison to the surrounding area. Within King County, the T6 zone would only be allowed in incorporated cities. Therefore, standards for the T6 zone are not included in this Code. It is only discussed to provide context to the transect framework.

I. SD (Special District Zone)

The SD zone is assigned to land suitable for development that, by its intrinsic size, function, or configuration, cannot conform to the descriptions and standards for one of the six specific transect zones. These development types include, but are not limited to, resorts, auto malls and car dealerships, industrial properties, business parks, shopping centers, shopping malls, airports, college campuses, and mining and quarry operations. Section 21A.38 (General Provisions –

Property-Specific Development Standards/Special District Overlays) of the King County Zoning Code shall be used to establish SD zones.

3. TRANSECT STANDARDS

Development standards for the transect zones (excluding the T6 and SD zones) are provided in the following sections of this Code:

- Article 3: Building Standards
- Article 4: Street Standards
- Article 5: Civic Space Standards

SITE AND BUILDING STANDARDS

1. INTRODUCTION

This Article contains building standards for the following transect zones:

- T1: Natural
- T2A: Agricultural Production
- T2B: Rural
- T2C: Rural Center
- T3: Urban Medium
- T4: Urban High
- T5: Urban Center

In addition, standards are provided for Civic Buildings, which are allowed in all of the above transect zones, and for Historic Buildings, which could be located in all of the above Transect Zones.

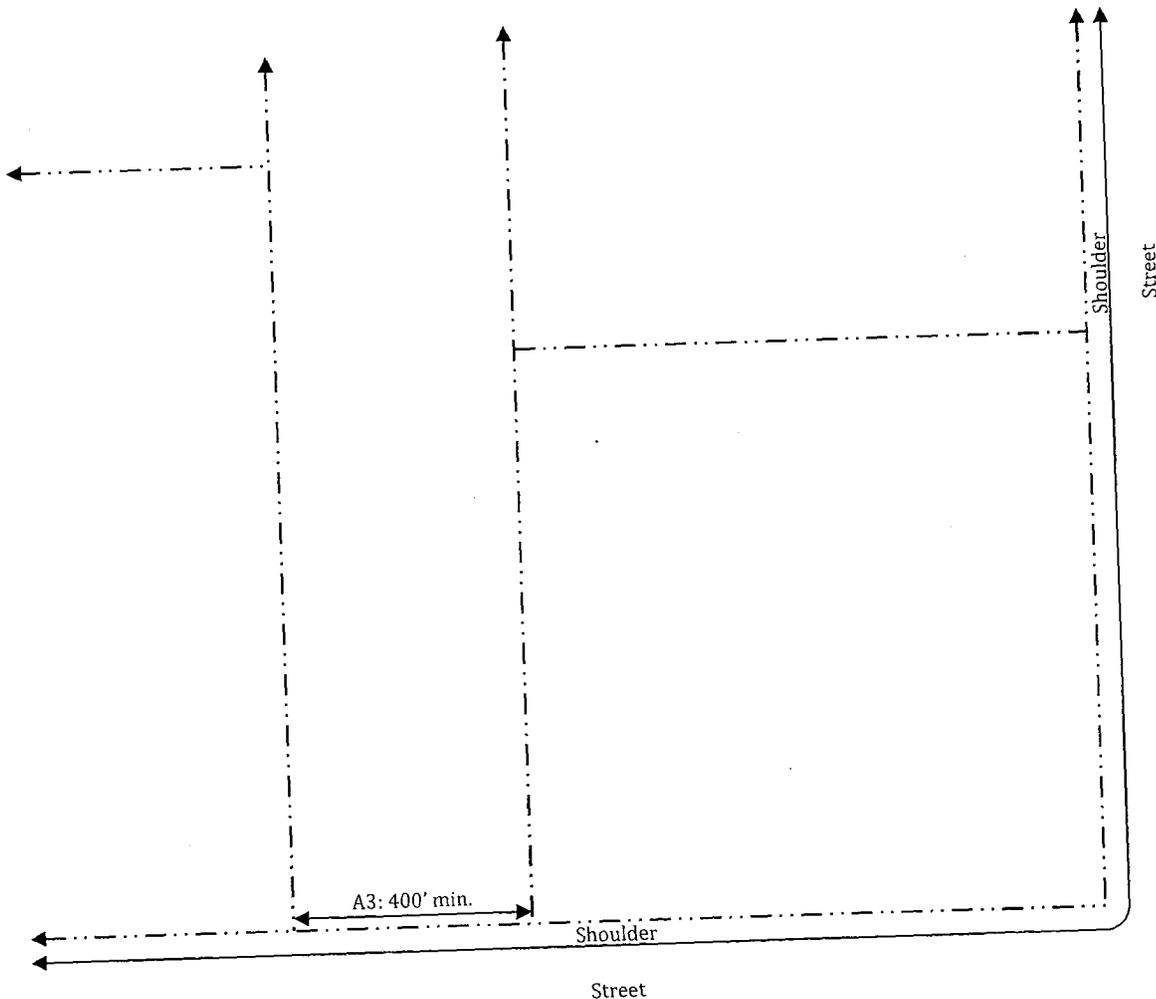
2. T1 STANDARDS

The T1 zone is assigned to land approximating or reverting to a wilderness condition, including lands unsuitable for settlement due to topography, hydrology, vegetation, or other sensitive environmental condition. These lands include steep hillsides, riparian corridors, lakes, wetlands, and woodlands. Buildings are not allowed in the T1 zone, except for public utility structures. Forestry is allowed within the T1 zone.

3. T2A STANDARDS

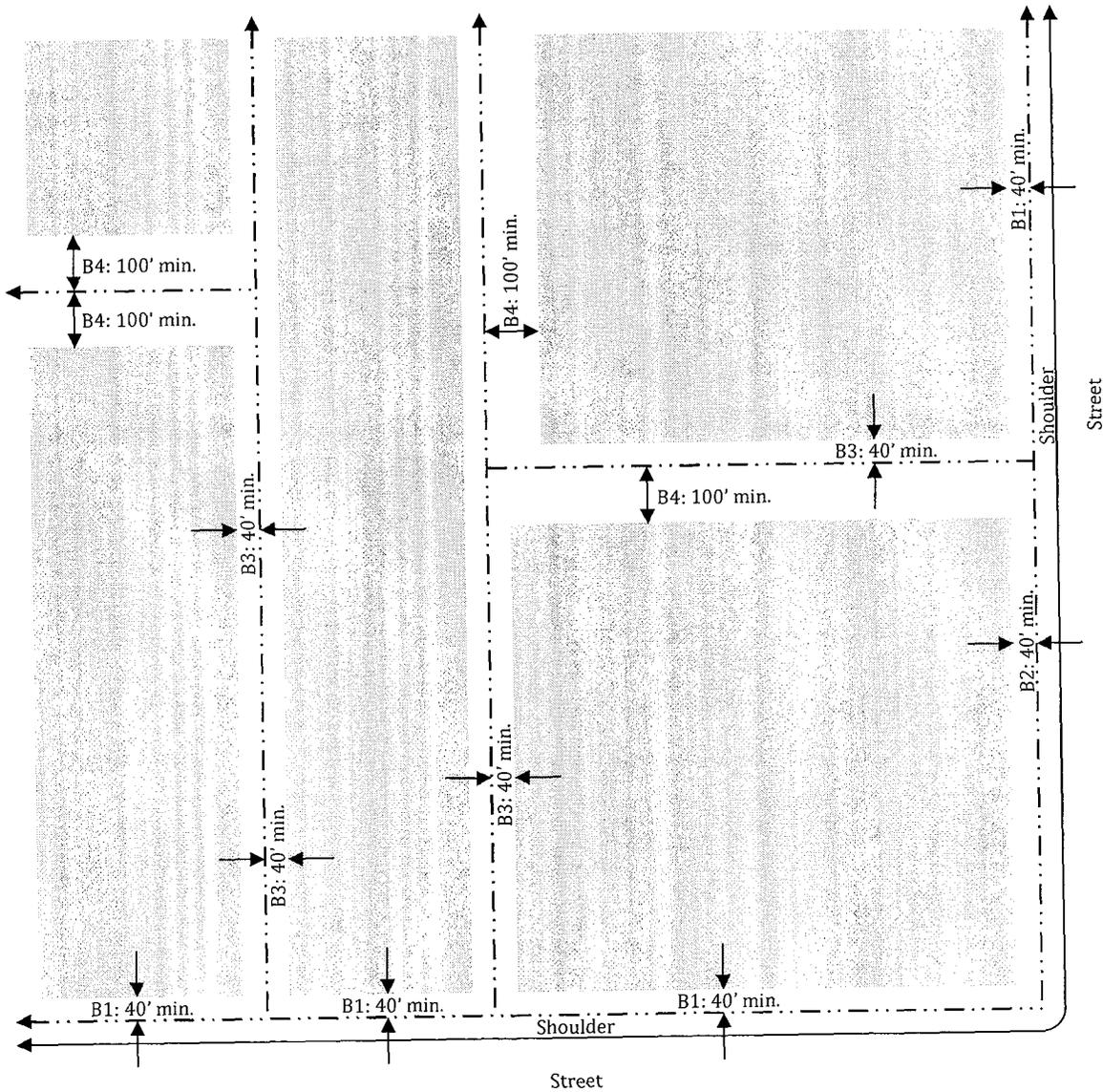
A. T2A Block and Lot Standards

1	Maximum Block Size	Not applicable
2	Gross Residential Density	1 unit per 10 acres (as indicated by T2A-10 on the Regulating Plan) or 1/unit per 35 acres (as indicated by T2A-35 on the Regulating Plan). The use of Residential Density Incentives and/or Transfer of Development Rights (TDRs) (refer to chapters 21A.34 and 21A.37 of the Zoning Code) shall not be allowed in this Transect Zone. Accessory units are excluded from this calculation.
3	Lot Width	400' minimum (as measured along the front property line)
4	Impervious Surfaces	No more than 5% of the site shall consist of impervious surfaces.
5	Tree Preservation	30% of all protected trees (see Section 8: Definitions) shall be retained on site. When the required number of protected trees cannot be retained, new trees, with a 2" caliper or greater, shall be planted. The replacement rate shall be 12 caliper inches of new trees to replace each protected tree removed.



B. T2A: Placement of Primary Building

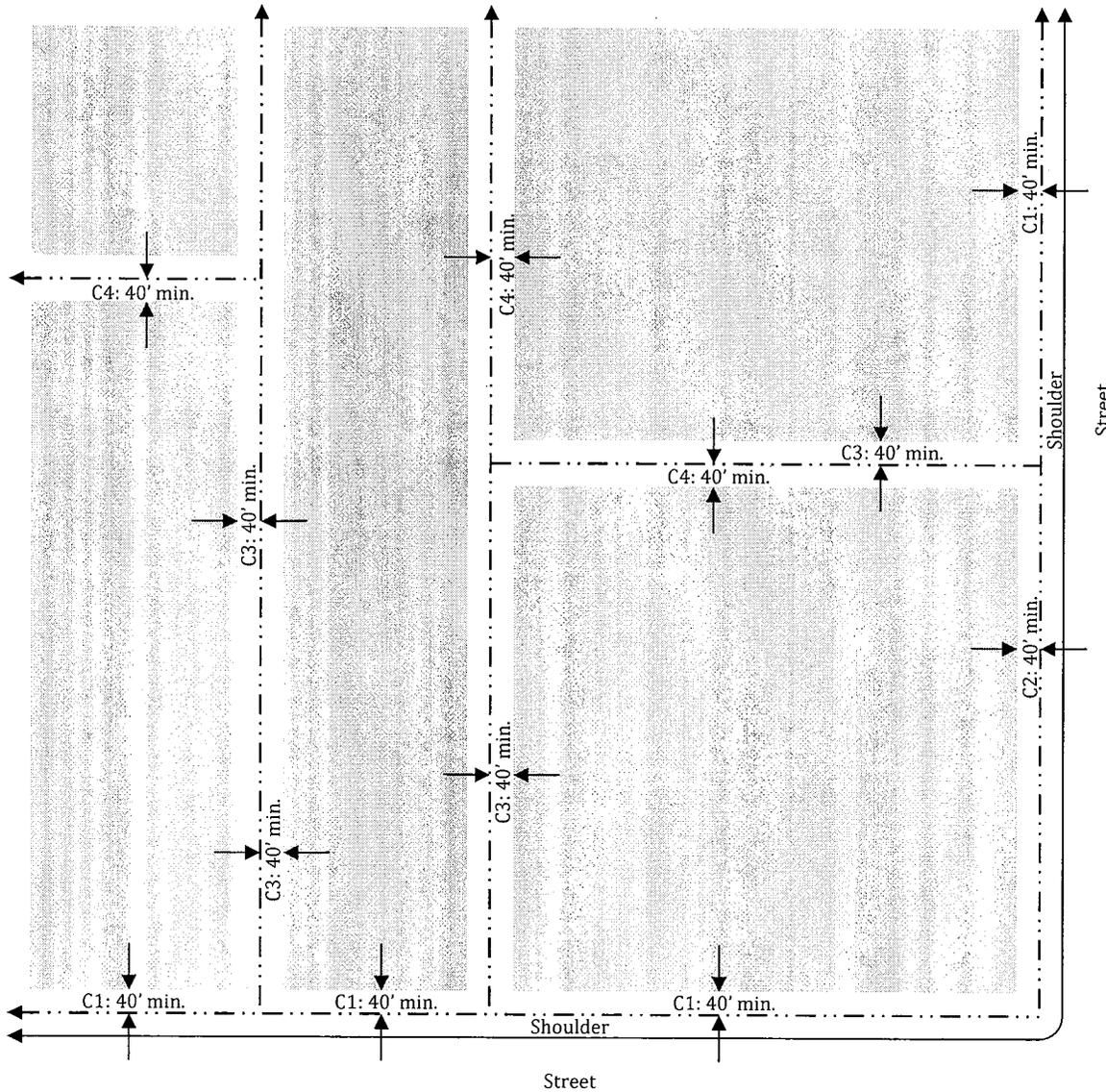
1	Front Setback	40' minimum
2	External Side Setback	40' minimum
3	Internal Side Setback	40' minimum
4	Rear Setback	100' minimum
5	Build-to-Zone (BTZ)	Not applicable
6	BTZ Buildout	Not applicable



Zone where the primary building may be located

C. T2A: Placement of Surface Parking, Attached/Detached Garages, and Outbuildings

1	Front Setback	40' minimum
2	External Side Setback	40' minimum
3	Internal Side Setback	40' minimum
4	Rear Setback	40' minimum



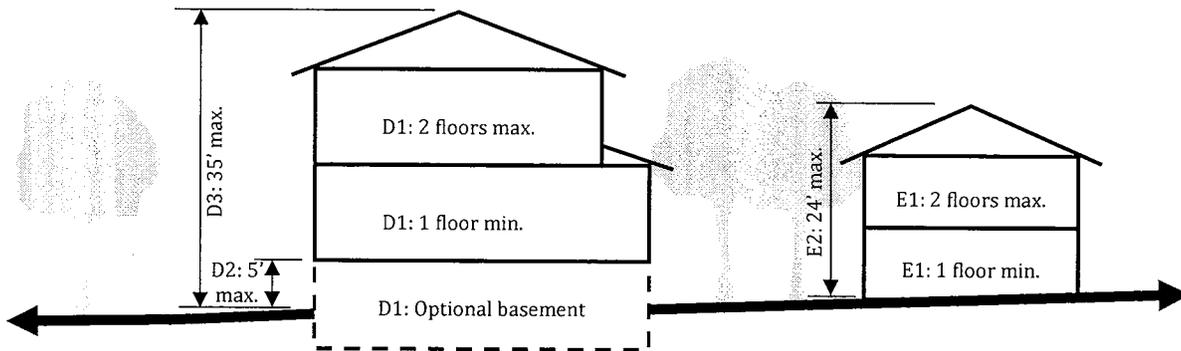
 Zone where surface parking, attached/detached garages, and outbuildings may be located

D. T2A: Building Design (Primary Building)

1	Number of Floors	1 to 2 floors plus an optional basement.
2	Ground Floor Elevation	The elevation of the ground floor may be elevated a maximum of 5' above the average grade of the site along the front facade of the building.
3	Ground Floor Height	Not applicable
4	Maximum Height	35' maximum as measured from the average grade of the site along the front facade of the building.
5	Energy Efficiency Requirements	<p>The primary building should be designed and built to meet the Northwest ENERGY STAR Homes Certification Requirements for Single Family Homes. If the primary building is over 2,500 square feet in size, it should be designed to meet one of the following standards:</p> <ul style="list-style-type: none"> • Design the home to meet LEED for Homes Silver Standard. • Design the home to meet BuiltGreen 4 Star requirement. • Generate one-half of the home's energy needs using on-site renewable energy systems (wind, solar, geothermal, etc).

E. T2A: Building Design (Detached Garage and Outbuilding)

1	Number of Floors	1 to 2 floors
2	Maximum Height	24' maximum as measured from the average grade of the site along the front facade of the building.



F. T2A: Frontage Elements (Primary Building)

1	Entrance and Frontage	The primary entrance shall be located on the front facade. A specific frontage is not required for buildings in this zone.
2	Windows	Not applicable

G. T2A: Allowed Encroachments into Setbacks

1	Porch	Porches may encroach into all setbacks by up to 6'.
2	Portico	Porticos may encroach into all setbacks by up to 6'.
3	Balconies	Balconies may project into all setbacks by up to 6'.
4	Bay Windows	Bay windows may project into all setbacks by up to 3'.
5	Window Shades	Window shades (horizontal and vertical) may project into all setbacks by up to 3'.
6	Roofs	Roofs may project into all setbacks by up to 3'.
7	Chimneys	Chimneys may project into rear, internal side, and external side setbacks by up to 2'. Chimneys are prohibited on the front facade.

H. T2A: Yards

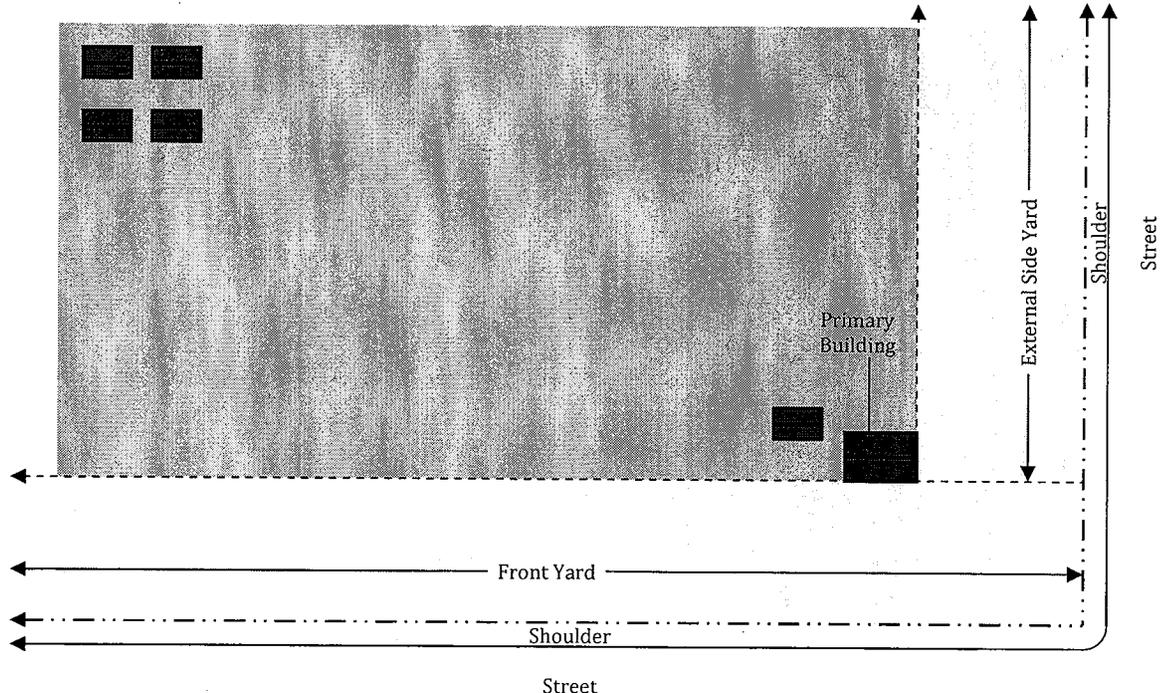
1	Landscape Options	Yards may consist of natural woodlands or grasslands, orchards or agricultural fields, fenced grazing land or pastures, and/or landscaped yards. With the exception of driveways and walkways, paved surfaces are prohibited in front and external side yards.
2	Landscaping Requirements	Landscaping shall be provided in accordance with Chapter 21A.16 of the Zoning Code, excluding Section 21A.16.070.
3	Wildlife Habitat	<p>All properties should promote the National Wildlife Federation Certified Wildlife Habitat™ Program, by implementing three of the following five categories:</p> <ul style="list-style-type: none"> • Provide Food for Wildlife: Provide nectar or pollen, berries or fruit, or foliage or twigs by planting or retaining native vegetation, shrubs, and/or trees from the King County Native Plant Guide list. • Supply Water for Wildlife: Supply water for wildlife for drinking, bathing, and reproduction, by protecting or creating a rain garden, seasonal pool, or backyard pond • Create Cover for Wildlife: Provide wildlife a safe place to hide from people, predators, and inclement weather, by protecting or creating a wooded area or evergreens, dense shrubs or thickets, or a dead tree or log pile. • Landscape in an Environmentally Friendly Way: Create a yard or landscape that protects the health of the soil, air, water, and habitat, by using mulch for planting beds or amending the soil with compost. • Maintain healthy native plant populations by removing noxious and invasive plants or by salvaging native plants. <p>If removing native vegetation for new development, contact the King County Native Plant Salvage Program to have volunteers remove native plants for replanting.</p>
4	Stormwater Management	All properties shall be designed with stormwater management facilities in compliance with the King County Surface Water Design Manual.
5	Food Production	Farm, agricultural plots, and vegetable gardens are encouraged.
6	Yard or Outdoor Lighting	<p>Ensure that any outdoor lighting minimizes light pollution, in order to reduce development impact on nocturnal environments and wildlife, and increase night sky visibility for people. Minimize light trespass from the site by using only lighting fixtures that are fully shielded with cutoff devices, such that all light is directed downward. Exterior light fixtures with very low light levels, such as solar powered lights, are exempt from this.</p> <p>The T2A zone should have minimal electric lighting, preferably controlled with motion sensors. For non-residential uses, a lighting curfew of 10 pm or close of business, whichever is later, is recommended.</p>

I. T2A: Fences, Walls, and Hedges (excluding retaining walls)

1	Within front and external side yards	<p>The following types of walls, fences, and hedges are allowed within front, side, and rear setbacks:</p> <ul style="list-style-type: none"> • Post and wire fence (limited to a height of 60") • Post and rail fence (limited to a height of 60") • Column and rail fence (limited to a height of 40") • Stone wall or wood fence (limited to a height of 40") • Hedge (limited to a height of 40")
2	Within internal side and rear yards	A variety of fences, walls, and hedges are allowed. The maximum height of the fence, wall, and hedge shall be limited to a height of 72".

J. T2A: Garbage, Recycle, and Compost Storage

1	Allowed Locations	Garbage, recycle, and compost receptacles shall be stored within a garage, an outbuilding, or a rear or side yard that is enclosed by a wall or fence that is at least 60" tall.
---	-------------------	--



I1: Fences, walls, and hedges allowed within front and external side yards

I2: Fences, walls, and hedges allowed in other locations

K T2A: Building and Property Uses

1	Residential	<p>The following uses are allowed by right:</p> <ul style="list-style-type: none"> • One Primary Unit and one optional Accessory Unit per lot • Home Occupation (per the requirements of Section 21A.30 of the Zoning Code) <p>The following uses are permitted with a conditional use permit:</p> <ul style="list-style-type: none"> • Home Industry (per the requirements of Section 21A.30 of the Zoning Code) • Group Housing for Farm Workers • Bed and Breakfast (5 rooms maximum)
2	Recreational/Cultural	<p>The following uses are permitted with a conditional use permit:</p> <ul style="list-style-type: none"> • Outdoor Paintball • Shooting Range • Museum • Arboretum
3	General Services	<p>The following uses are allowed by right:</p> <ul style="list-style-type: none"> • Stable/Riding Area <p>The following uses are permitted with a conditional use permit:</p> <ul style="list-style-type: none"> • Day Care I • Veterinary Clinic • Appliance/Equipment Repair • Kennel • Dog Training Facility
4	Government/Business Services	<p>The following uses are permitted with a conditional use permit:</p> <ul style="list-style-type: none"> • Police Substation • Fire Station • Vector Waste Receiving Facility • Utility Facility • Farm Product Warehousing, Refrigeration, and Storage • Log Storage
5	Retail/Wholesale	<p>The following uses are permitted with a conditional use permit:</p> <ul style="list-style-type: none"> • Produce/Flower Stand • Nursery, Garden Center, and Farm Supply Stores • Forest Supply Sales • Alcohol Service/Sales Associated with a Winery/Brewery • Livestock Sales

K. T2A: Building and Property Uses (Continued)

6 Manufacturing The following uses are permitted with a conditional use permit:

- Food and Kindred Products Manufacturing
- Winery/Brewery
- Materials Processing Facility
- Wood Product Manufacturing (Excluding Furniture)

7 Resource The following uses are allowed by right:

- Solar photovoltaic/solar thermal energy systems
- Private stormwater management facilities
- Growing and Harvesting Crops
- Raising Livestock and Small Animals (per the requirements of Section 21A.30 of the Zoning Code)
- Growing and Harvesting Forest Products
- Hatchery/Fish Preserve
- Aquaculture
- Wildlife Shelters

The following uses are permitted with a conditional use permit:

- Wind turbines
- Agricultural Training Facilities
- Agricultural Related Special Needs Camp
- Agricultural Anaerobic Digester
- Mineral Extraction and Processing
- Asphalt/Concrete Mixtures and Block

8 Regional The following uses are permitted with a conditional use permit:

- Non-Hydroelectric Generation Facility
- Communication Facility

The following uses are permitted with a special use permit:

- Jail Farm/Camp
- Oil and Gas Extraction
- Municipal Water Production
- Airport/Heliport
- Energy Resource Recovery Facility
- Soil Recycling Facility
- Landfill
- Transfer Station

L. T2A: On-Site Parking Requirements (Minimum)¹

1	Residential	Primary Unit: 2 spaces Accessory Unit: 1 space Group Housing for Farm Workers: Parking is not required. Bed and Breakfast (5 rooms maximum): 1 space per rented and owner-occupied bedroom
2	Recreational/Cultural	As required by the Director
3	General Services	Day Care I: 2 spaces Veterinary Clinic: 1 space per 300 feet of internal space Appliance/Equipment Repair: 1 space per 300 feet of internal space Stable/Riding Area: 0.5 spaces per rented stable. Kennel: 3 spaces Dog Training Facility: Parking is not required
4	Government/Business Services	1 space per 300 square feet of office, plus 0.9 spaces per 1,000 square feet of indoor storage
5	Retail/Wholesale	Retail (including mix of retail and wholesale): 1 space per 300 square feet of indoor space Wholesale: 0.9 spaces per 1,000 square feet of indoor space
6	Manufacturing	Manufacturing: 0.9 spaces per 1,000 square feet Winery/Brewery: 0.9 spaces per 1,000 square feet plus 1 space per 50 square feet of tasting area
7	Resource	As required by the Director
8	Regional	As required by the Director

M. T2A: Parking Lot Landscaping

1	Trees	Not applicable
---	-------	----------------

N. T2A: Shared Parking

1	Requirements	The amount of parking may be reduced by an amount determined by the Director when shared parking facilities for two or more uses are proposed. Section 21A.18.040 of the Zoning Code shall regulate the process for determining the reduction in parking.
---	--------------	---

O. T2A: Parking Options

1	Parking Options (refer to Section C for allowed parking locations)	To reduce development costs, parking garages are not required. Parking may be provided within an attached garage, detached garage, or dedicated surface parking area.
---	--	---

P. T2A: Parking Access

2	Driveways	Driveways shall not exceed a width of 20'.
---	-----------	--

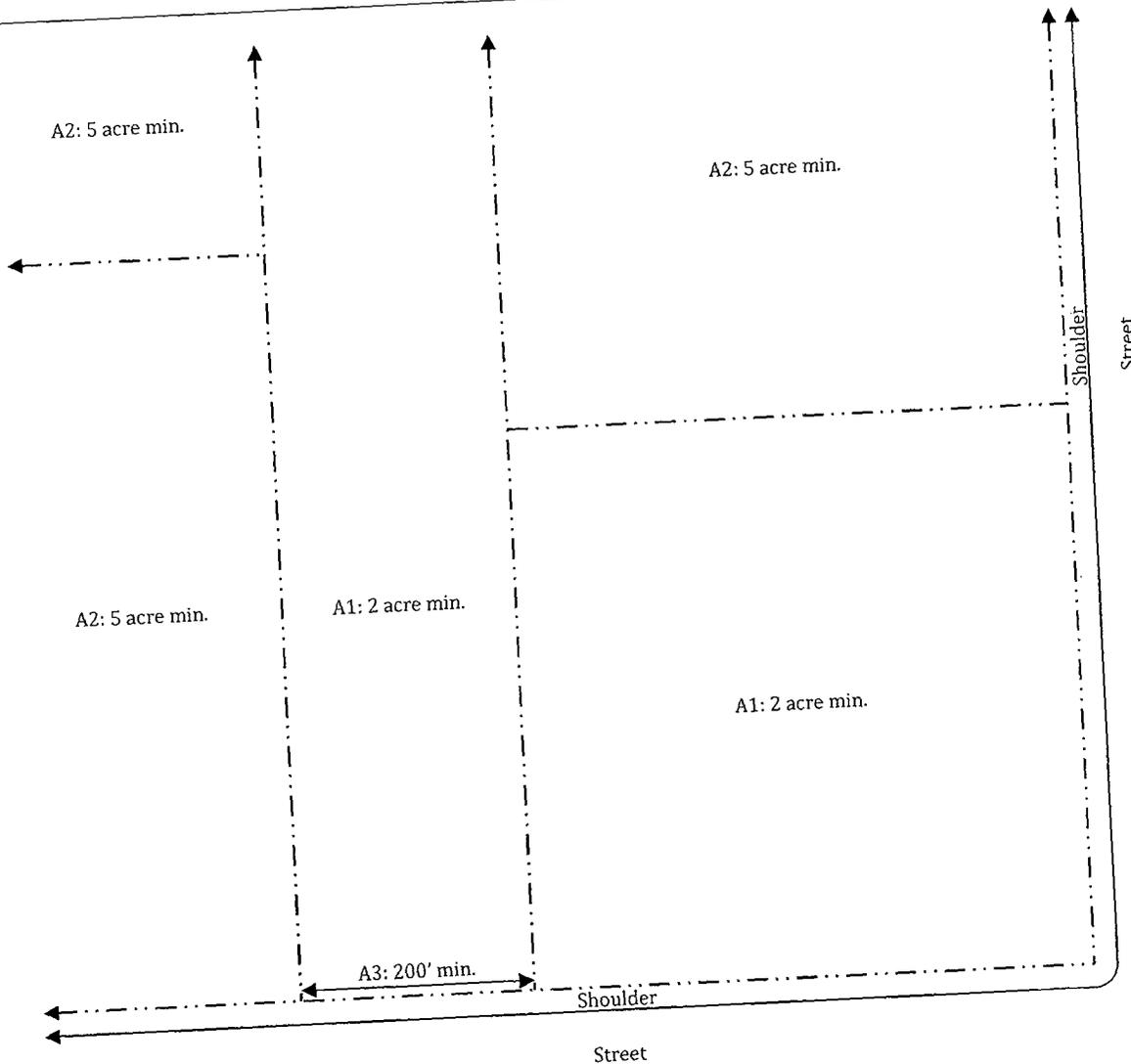
Notes

1	If the parking requirements result in a fraction, the number of parking spaces shall be rounded to the nearest whole number with fraction of 0.50 or greater rounding up and fractions below 0.50 rounding down.	
---	--	--

4. T2B: RURAL STANDARDS

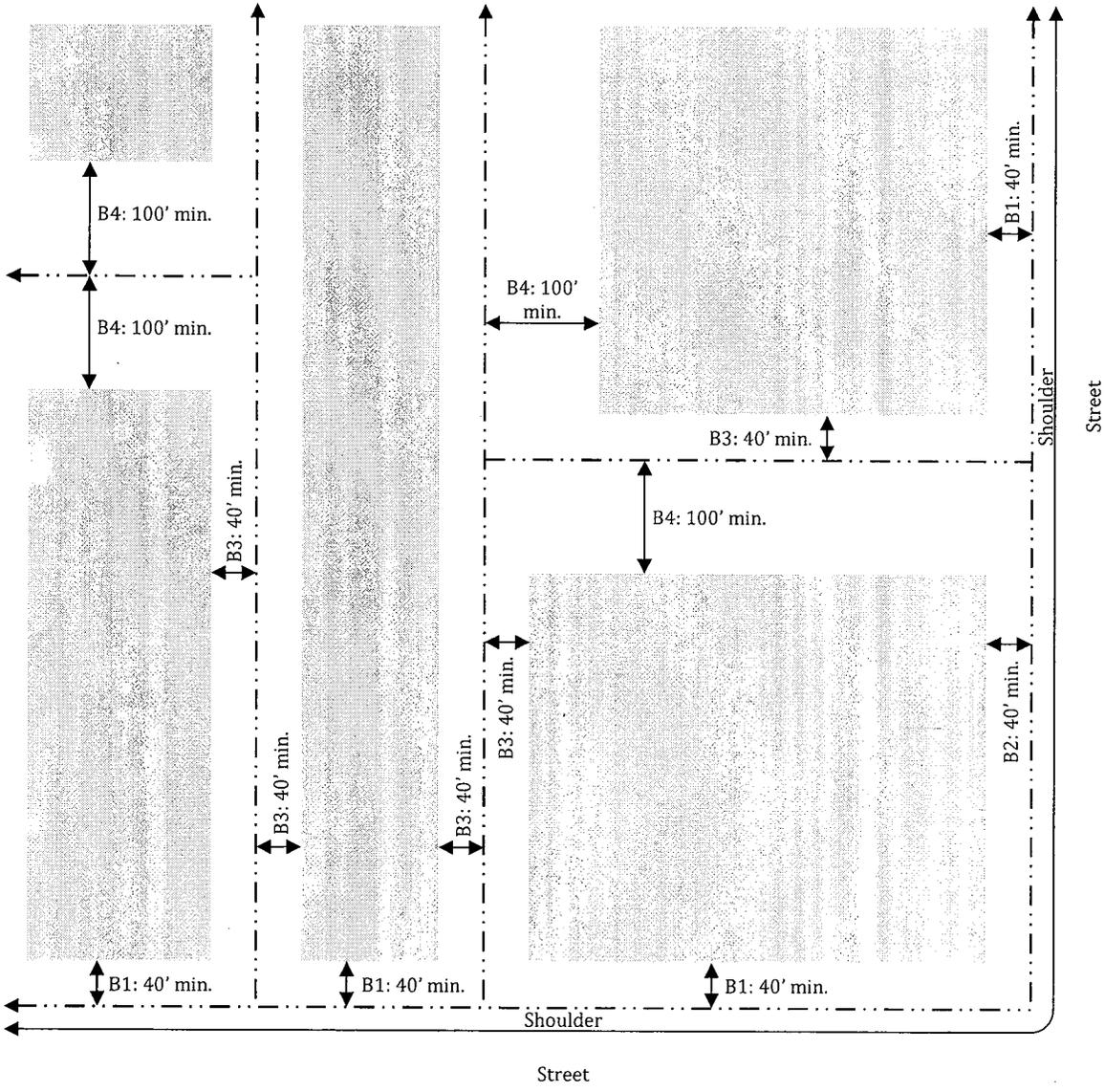
A. T2B: Block and Lot Standards

1	Maximum Block Size	Not applicable
2	Gross Residential Density	1 unit per 5 acres. The use of Residential Density Incentives and/or TDRs (refer to chapters 21A.34 and 21A.37 of the Zoning Code) shall not be allowed in this Transect Zone. Accessory units are excluded from this calculation.
3	Lot Width	200' minimum (as measured along the front property line)
4	Impervious Surfaces	No more than 10% of the site shall consist of impervious surfaces.
5	Tree Preservation	30% of all protected trees (see Section 8: Definitions) shall be retained on site. When the required number of protected trees cannot be retained, new trees, with a 2" caliper or greater, shall be planted. The replacement rate shall be 12 caliper inches of new trees to replace each protected tree removed. (Based on City of Renton standards.)



B. T2B: Placement of Primary Building

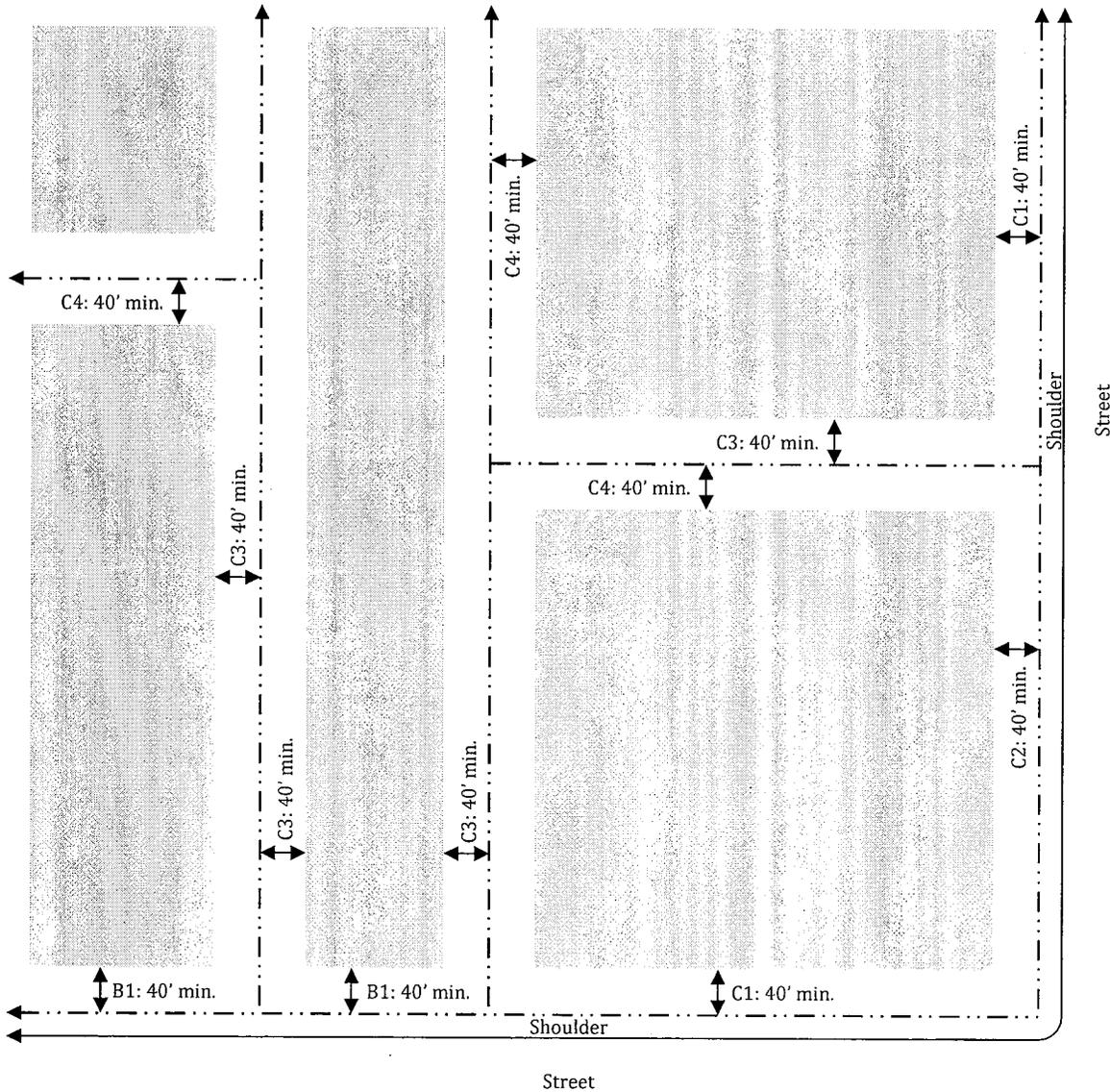
1	Front Setback	40' minimum
2	External Side Setback	40' minimum
3	Internal Side Setback	40' minimum
4	Rear Setback	100' minimum
5	Build-to-Zone (BTZ)	A Built-to Zone is not required.
6	BTZ Buildout	Not applicable



 Zone where the primary building may be located

C. T2B: Placement of Surface Parking, Attached/Detached Garages, and Outbuildings

1	Front Setback	40' minimum
2	External Side Setback	40' minimum
3	Internal Side Setback	40' minimum
4	Rear Setback	40' minimum



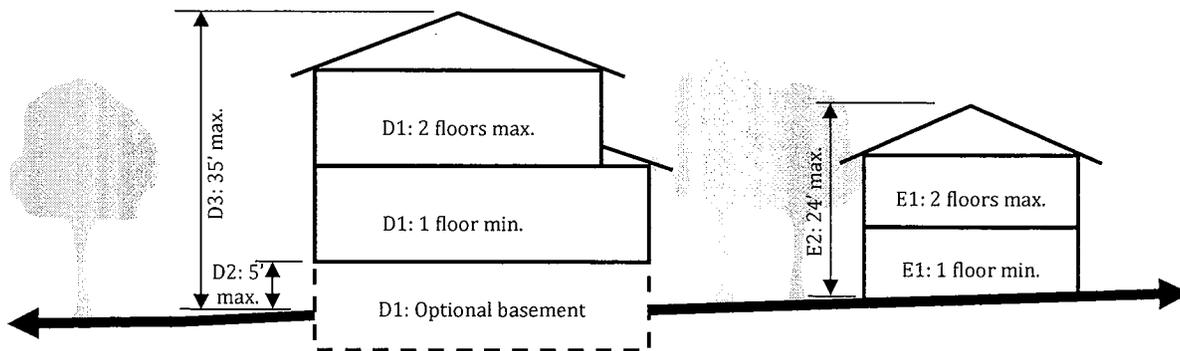
Zone where surface parking, attached/detached garages, and outbuildings may be located

D. T2B: Building Design (Primary Building)

1	Number of Floors	1 to 2 floors plus an optional basement.
2	Ground Floor Elevation	The elevation of the ground floor may be elevated a maximum of 5' above the average grade of the site along the front facade of the building.
3	Ground Floor Height	Not applicable
4	Maximum Height	35' maximum as measured from the average grade of the site along the front facade of the building.
5	Energy Efficiency Requirements	<p>The primary building should be designed and built to meet the Northwest ENERGY STAR Homes Certification Requirements for Single Family Homes. If the primary building is over 2,500 square feet in size, it should be designed to meet one of the following standards:</p> <ul style="list-style-type: none"> • Design the home to meet LEED for Homes Silver Standard. • Design the home to meet BuiltGreen 4 Star requirement. • Generate one-half of the home's energy needs using on-site renewable energy systems (wind, solar, geothermal, etc).

E. T2B: Building Design (Detached Garage and Outbuilding)

1	Number of Floors	1 to 2 floors
2	Maximum Height	24' maximum as measured from the average grade of the site along the front facade of the building.



F. T2B: Frontage Elements (Primary Building)¹

1	Entrance and Frontage	The primary entrance shall be located on the front facade. The entrance shall be located within a portico or porch frontage.
2	Windows	At least 15% of the surface area of front and external side facades shall be occupied by windows.

G. T2B: Allowed Encroachments into Setbacks

1	Porch	Porches may encroach into all setbacks by up to 6'.
2	Portico	Porticos may encroach into all setbacks by up to 6'.
3	Balconies	Balconies may project into all setbacks by up to 6'.
4	Bay Windows	Bay windows may project into all setbacks by up to 3'.
5	Window Shades	Window shades (horizontal and vertical) may project into all setbacks by up to 3'.
6	Roofs	Roofs may project into all setbacks by up to 3'.
7	Chimneys	Chimneys may project into rear, internal side, and external side setbacks by up to 2'. Chimneys are prohibited on the front facade.

Notes

¹ Standards for private frontages are provided in Section 7.2.C

H. T2B: Yards

1 Landscape Options Yards may consist of natural woodlands or grasslands, orchards or agricultural fields, fenced grazing land or pastures, and/or landscaped yards. With the exception of driveways and walkways, paved surfaces are prohibited in front and external side yards.

2 Landscape Requirements Landscaping shall be provided in accordance with Chapter 21A.16 of the Zoning Code, excluding Section 21A.16.070.

3 Wildlife Habitat All properties should promote the National Wildlife Federation Certified Wildlife Habitat™ Program, by implementing three of the following five categories:

- Provide Food for Wildlife: Provide nectar or pollen, berries or fruit, or foliage or twigs by planting or retaining native vegetation, shrubs, and/or trees from the King County Native Plant Guide list.
- Supply Water for Wildlife: Supply water for wildlife for drinking, bathing, and reproduction, by protecting or creating a rain garden, seasonal pool, or backyard pond
- Create Cover for Wildlife: Provide wildlife a safe place to hide from people, predators, and inclement weather, by protecting or creating a wooded area or evergreens, dense shrubs or thickets, or a dead tree or log pile.
- Landscape in an Environmentally Friendly Way: Create a yard or landscape that protects the health of the soil, air, water, and habitat, by using mulch for planting beds or amending the soil with compost.
- Maintain healthy native plant populations by removing noxious and invasive plants or by salvaging native plants.

If removing native vegetation for new development, contact the King County Native Plant Salvage Program to have volunteers remove native plants for replanting.

4 Stormwater Management All properties shall be designed with stormwater management facilities in compliance with the King County Surface Water Design Manual.

5 Food Production Farm, agricultural plots, and vegetable gardens are encouraged.

6 Yard or Outdoor Lighting Ensure that any outdoor lighting minimizes light pollution, in order to reduce development impact on nocturnal environments and wildlife, and increase night sky visibility for people. Minimize light trespass from the site by using only lighting fixtures that are fully shielded with cutoff devices, such that all light is directed downward. Exterior light fixtures with very low light levels, such as solar powered lights, are exempt from this.

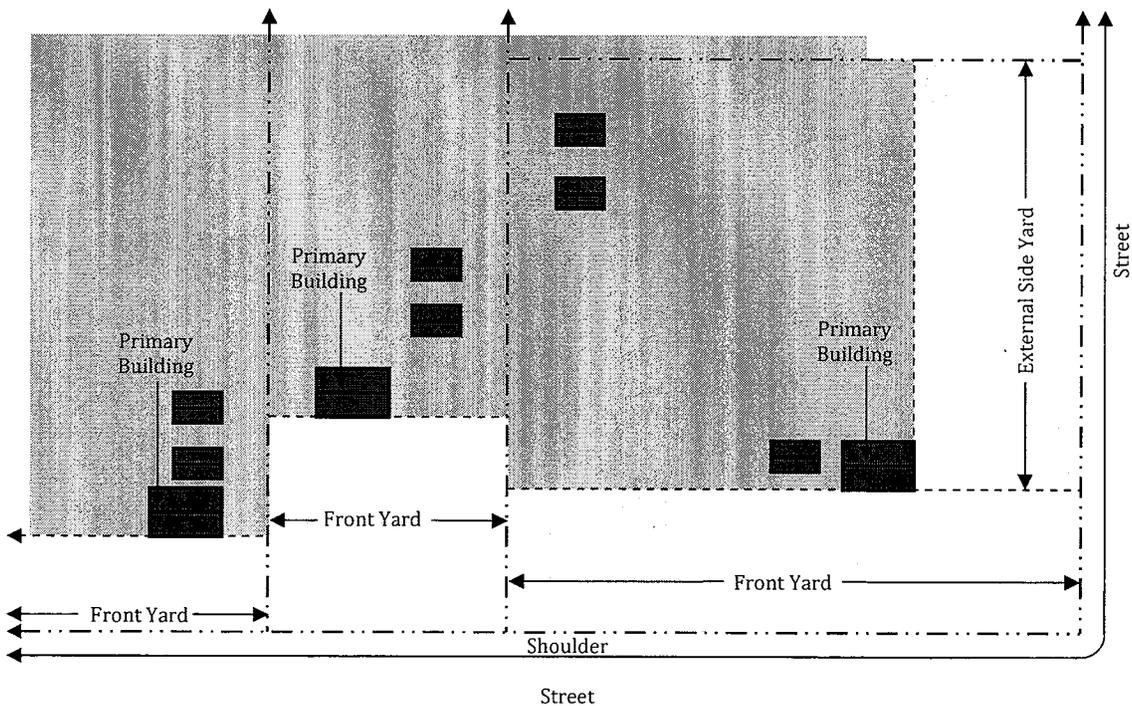
The T2B zone should have minimal electric lighting, preferably controlled with motion sensors. For non-residential uses, a lighting curfew of 10:00 pm or close of business, whichever is later, is recommended.

I. T2B: Fences, Walls, and Hedges (excluding retaining walls)

- | | | |
|---|--------------------------------------|--|
| 1 | Within front and external side yards | <p>The following types of walls, fences, and hedges are allowed:</p> <ul style="list-style-type: none"> • Post and wire fence (maximum height of 60") • Post and rail fence (maximum height of 60") • Column and rail fence (maximum height of 40") • Stone wall or wood fence (maximum height of 40") • Hedge (limited to a height of 40") <p>Electric fencing may be used with one of the above fences.</p> |
| 2 | Within Other Locations | A variety of fences and walls are allowed. The maximum height of the fence/wall/hedge shall be limited to a height of 72". |

J. T2B: Garbage, Recycle, and Compost Storage

- | | | |
|---|-------------------|--|
| 1 | Allowed Locations | Garbage, recycle, and compost receptacles shall be stored within a garage, an outbuilding, or a rear or side yard. |
|---|-------------------|--|



I1: Fences, walls, and hedges allowed within front and external side yards

I2: Fences, walls, and hedges allowed in other locations

K. T2B: Building and Property Uses

1	Residential	<p>The following uses are allowed by right:</p> <ul style="list-style-type: none"> • One Primary Unit and one optional Accessory Unit per lot • Home Occupation (per the requirements of Section 21A.30 of the Zoning Code) <p>The following uses are permitted with a conditional use permit:</p> <ul style="list-style-type: none"> • Home Industry (per the requirements of Section 21A.30 of the Zoning Code) • Bed and Breakfast (5 rooms maximum)
2	Recreational/Cultural	<p>The following uses are permitted with a conditional use permit:</p> <ul style="list-style-type: none"> • Outdoor Paintball • Shooting Range • Library • Museum • Arboretum
3	General Services	<p>The following uses are permitted with a conditional use permit:</p> <ul style="list-style-type: none"> • Stable/Riding Area • Day Care I • Kennel • Dog Training Facility
4	Government/Business Services	<p>The following uses are permitted with a conditional use permit:</p> <ul style="list-style-type: none"> • Police Substation • Fire Station • Utility Facility • Log Storage
5	Retail/Wholesale	<p>The following uses are permitted with a conditional use permit:</p> <ul style="list-style-type: none"> • Produce/Flower Stand • Nursery, Garden Center, and Farm Supply Stores • Forest Supply Sales • Alcohol Service/Sales Associated with a Winery/Brewery • Livestock Sales

K. T2B: Building and Property Uses (Continued)

6	Manufacturing	<p>The following uses are permitted with a conditional use permit:</p> <ul style="list-style-type: none"> • Food and Kindred Product Manufacturing • Winery/Brewery • Wood Product Manufacturing (Excluding Furniture)
7	Resource	<p>The following uses are allowed by right:</p> <ul style="list-style-type: none"> • Solar photovoltaic/solar thermal energy systems • Private stormwater management facilities • Growing and Harvesting Crops (organic methods only) • Raising Livestock and Small Animals (per the requirements of Section 21A.30 of the Zoning Code) • Growing and Harvesting Forest Products • Hatchery/Fish Preserve • Aquaculture • Wildlife Shelters <p>The following uses are permitted with a conditional use permit:</p> <ul style="list-style-type: none"> • Wind turbines • Agricultural Related Special Needs Camp • Agricultural Anaerobic Digester
8	Regional	<p>The following uses are permitted with a conditional use permit:</p> <ul style="list-style-type: none"> • Non-Hydroelectric Generation Facility • Communication Facility <p>The following uses are permitted with a special use permit:</p> <ul style="list-style-type: none"> • Oil and Gas Extraction • Municipal Water Production

L. T2B: On-Site Parking Requirements (Minimum)¹

1	Residential	Primary Unit: 2 spaces Accessory Unit: 1 space Bed and Breakfast (5 rooms maximum): 1 space per rented and owner-occupied bedroom
2	Recreational/Cultural	As required by the Director
3	General Services	Day Care I: 2 spaces Stable/Riding Area: 0.5 spaces per rented stable. Kennel: 3 spaces Dog Training Facility: Parking is not required
4	Government/Business Services	1 space per 300 square feet of office, plus 0.9 spaces per 1,000 square feet of indoor storage
5	Retail/Wholesale	Retail (including mix of retail and wholesale): 1 space per 300 square feet of indoor space Wholesale: 0.9 spaces per 1,000 square feet of indoor space
6	Manufacturing	Manufacturing: 0.9 spaces per 1,000 square feet Winery/Brewery: 0.9 spaces per 1,000 square feet plus 1 space per 50 square feet of tasting area
7	Resource	As required by the Director
8	Regional	As required by the Director

M. T2B: Parking Lot Landscaping

1	Trees	Not applicable
---	-------	----------------

N. T2B: Shared Parking

1	Requirements	The amount of parking may be reduced by an amount determined by the Director when shared parking facilities for two or more uses are proposed. Section 21A.18.040 of the Zoning Code shall regulate the process for determining the reduction in parking.
---	--------------	---

O. T2B: Parking Options

1	Parking Options (refer to Section C for allowed parking locations)	To reduce development costs, parking garages are not required. Parking may be provided within an attached garage, detached garage, or dedicated surface parking area.
---	--	---

P. T2B: Parking Access

2	Driveways	Driveways shall not exceed a width of 20'.
---	-----------	--

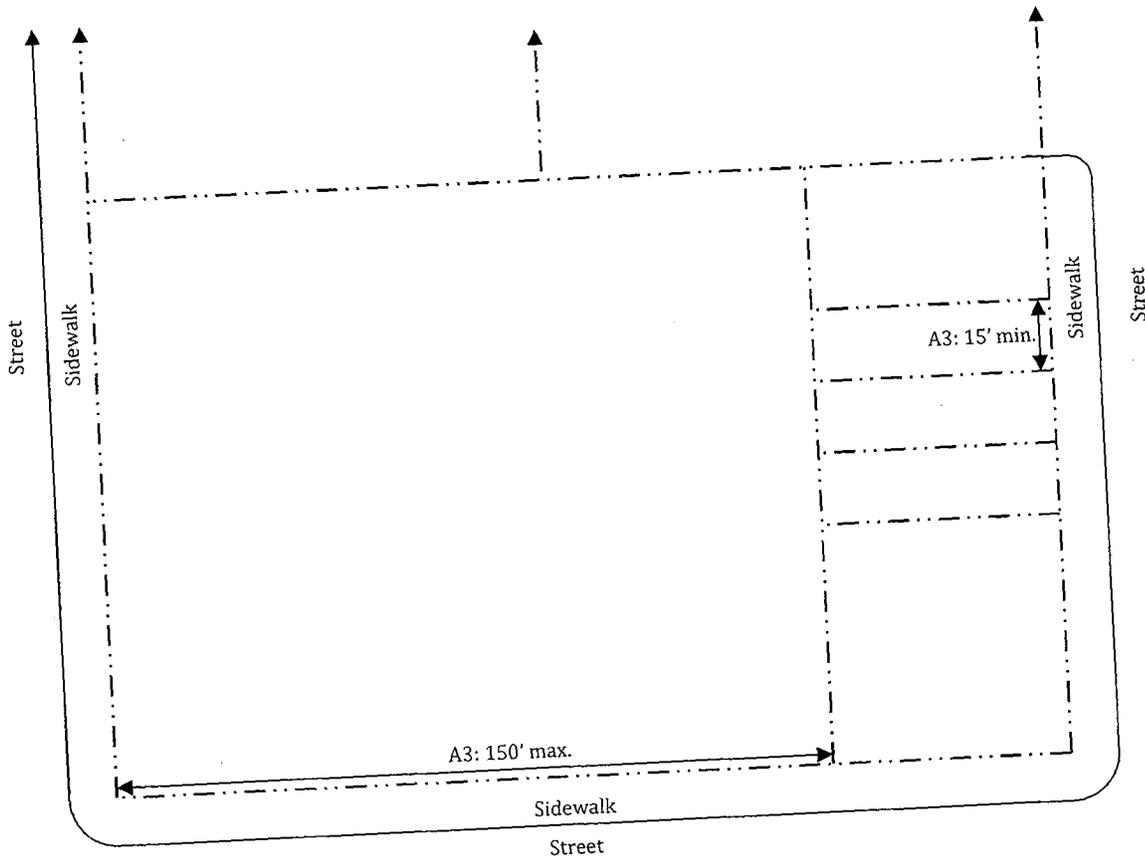
Notes

¹ If the parking requirements result in a fraction, the number of parking spaces shall be rounded to the nearest whole number with fraction of 0.50 or greater rounding up and fractions below 0.50 rounding down.

5. T2C STANDARDS

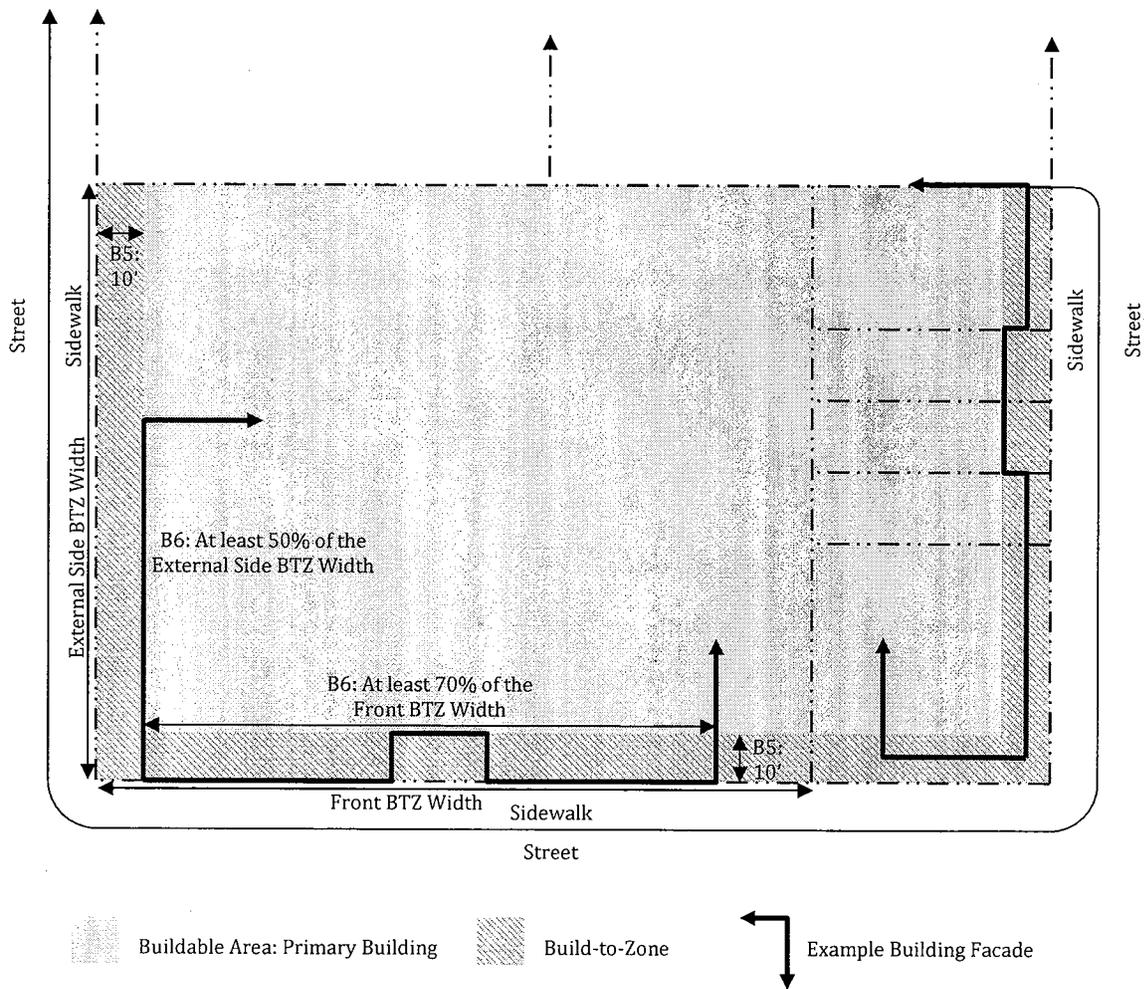
A. T2C: Block and Lot Standards

1	Maximum Block Size	Not applicable
2	Gross Residential Density	Multifamily residential units shall only be allowed on the upper floors of buildings at a density that is limited to 8 units per gross acre. The density may be further reduced by parking constraints (see Sections L, M, N, O and P) and on-site septic tank capacity. The use of Residential Density Incentives and/or TDRs (refer to chapters 21A.34 and 21A.37 of the Zoning Code) shall not be allowed in this Transect Zone.
3	Lot Width	15' minimum and 150' maximum
4	Impervious Surfaces	No more than 80% of the site shall consist of impervious surfaces.
5	Tree Preservation	5% of all protected trees (see Section 8: Definitions) shall be retained on site. When the required number of protected trees cannot be retained, new trees, with a 2" caliper or greater, shall be planted. The replacement rate shall be 12 caliper inches of new trees to replace each protected tree removed.



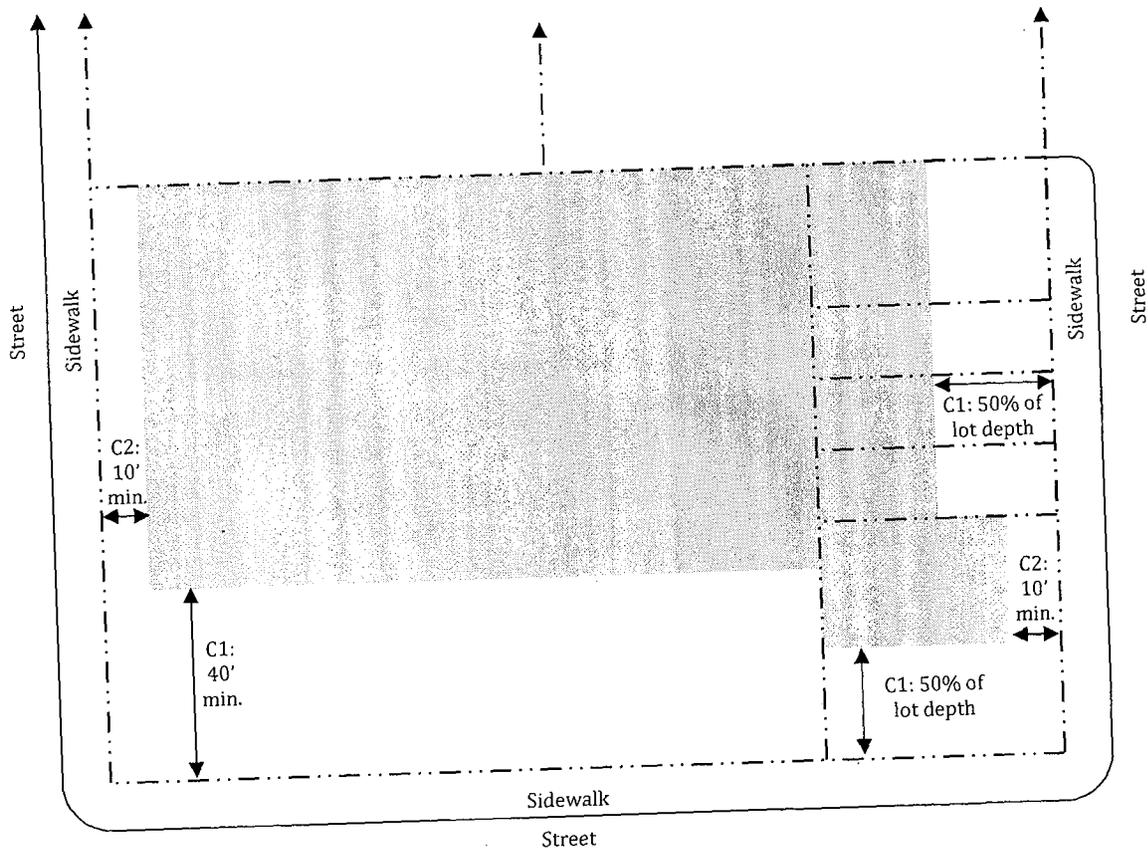
B. T2C. Placement of Primary Building

1	Front Setback	A setback is not required
2	External Side Setback	A setback is not required
3	Internal Side Setback	10' minimum
4	Rear Setback	10' minimum
5	Build-to-Zone (BTZ)	The front BTZ is the area that is within 10' of the front property line. The external side BTZ is the area that is within 10' of the external side property line.
6	BTZ Buildout	At least 60% of the front BTZ's width and 50% of the external side BTZ's width shall be occupied by facades.



C. T2C: Placement of Surface Parking and Outbuildings

1	Front Setback	40' minimum or at least 50% of the lot depth, whichever is less.
2	External Side Setback	10' minimum
3	Internal Side Setback	A setback is not required
4	Rear Setback	A setback is not required



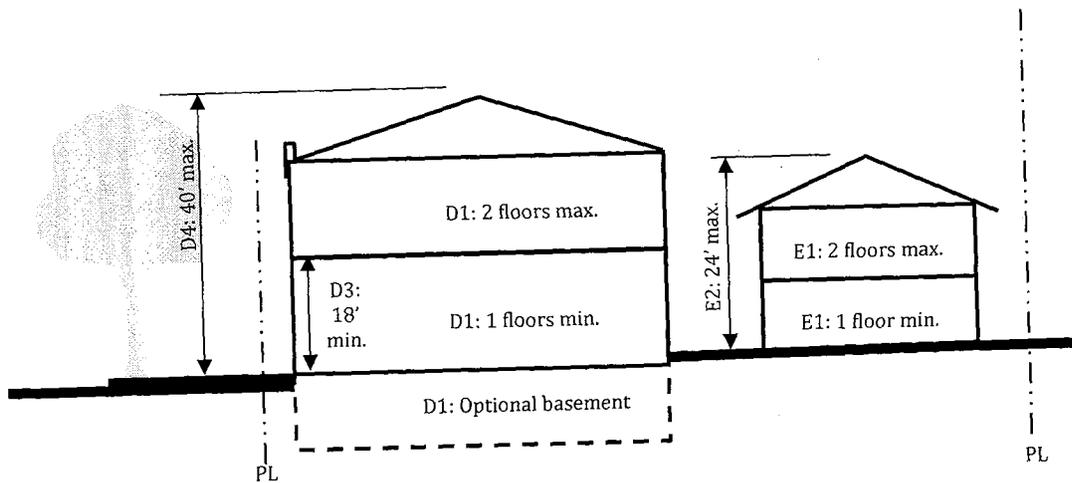
 Zone where surface parking, attached/detached garages, above-ground parking structures, and outbuildings may be located

D. T2C: Building Design (Primary Building)

1	Number of Floors	1 to 2 floors plus an optional basement.
2	Ground Floor Elevation	The elevation of the ground floor may be elevated a maximum of 5' above the average grade of the site along the front facade of the building. If the ground floor is designed to accommodate non-residential uses, the elevation of the ground floor should be placed near the elevation of the sidewalk to minimize the need for stairs and ADA ramps.
3	Ground Floor Height	If the ground floor is designed to accommodate non-residential space, the height of the ceiling (as measured from floor plate to floor plate) shall be at least 18'.
4	Maximum Height	40' maximum as measured from the average grade of the site along the front facade of the building.
5	Energy Efficiency Requirements	For residential buildings, the building should be designed and built to meet the Northwest ENERGY STAR Homes Certification Requirements for Single Family Homes or Multifamily Homes. For commercial and mixed-use buildings, the building should be designed to earn the ENERGY STAR rating by achieving a rating of 75 or higher using the EPA Energy Target Finder tool.

E. T2C: Building Design (Detached Garage and Outbuilding)

1	Number of Floors	1 to 2 floors
2	Maximum Height	24' maximum as measured from the average grade of the site along the rear facade of the building.



F. T2C: Frontage Elements (Primary Building)¹

1	Entrance and Frontage	The primary entrance shall be located on the front facade. The entrance shall be located within a stoop, storefront, terrace/lightwell, gallery, or forecourt frontage
2	Windows	At least 50% of the surface area of ground floor front and external side facades with storefronts shall be occupied by windows. At least 20% of the surface area of all other front and external side facades shall be occupied by windows.

G. T2C: Allowed Encroachments into Setbacks (Primary Building)

1	Porch	Porches may encroach into front and external side setbacks by 6'.
2	Stoops	Stoops may encroach into front and external side setbacks by 6'.
3	Balconies	Balconies may project into front and external side setbacks by 6'. Balconies may project over public sidewalks if at least 12' of vertical clearance is provided between the lowest point of the balcony and the sidewalk.
4	Bay Windows	Bay windows may project into all front and external side setbacks by 3'. Bay windows may project over public sidewalks if at least 12' of vertical clearance is provided between the lowest point of the bay window and the sidewalk.
5	Window Shades	Window shades (horizontal and vertical) may project into all setbacks by 3'. Window shades may project over public sidewalks if at least 8' of vertical clearance is provided between the lowest point of the window shade and the sidewalk.
6	Roofs	Roofs may project into all setbacks by 3'.
7	Chimneys	Chimneys may project into rear, internal side, and external side setbacks by 2'. Chimneys are prohibited on the front facade.
8	Storefront Awnings	Storefront awnings may project into front and external side setbacks by up to 6'. Awnings may project over public sidewalks if at least 8' of vertical clearance is provided between the lowest point of the awning and the sidewalk.
9	Galleries	Galleries may project into front and external side setbacks. Galleries may project over public sidewalks with the approval of the Director if at least 12' of vertical clearance is provided between the lowest point of the gallery and the sidewalk and the outside edges of the posts or columns of the gallery are at least 2' from the curb face.

Notes

¹ Standards for private frontages are provided in Section 7.2.C

H. T2C: Yards

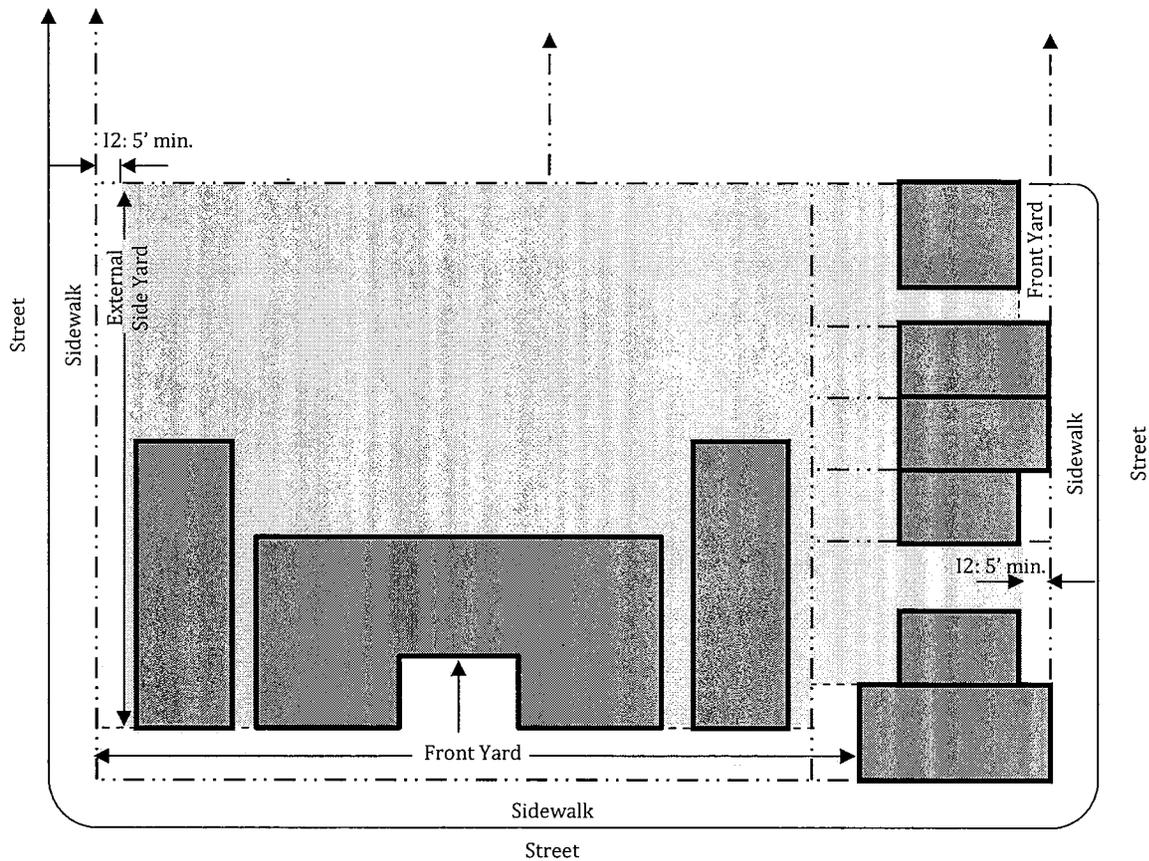
1	Landscaping Options	Yards may be landscaped or consist of natural woodlands. With the exception of driveways, walkways, and patio space (only allowed in yards adjacent to commercial uses), paved surfaces are prohibited in front and external side yards.
2	Landscaping Requirements	Landscaping shall be provided in accordance with Chapter 21A.16 of the Zoning Code, excluding Section 21A.16.070.
3	Wildlife Habitat	Not applicable
4	Stormwater Management	All properties shall be designed with stormwater management facilities in compliance with the King County Surface Water Design Manual.
5	Food Production	Vegetable gardens, community gardens, and green roofs are encouraged.
6	Yard or Outdoor Lighting	<p>Ensure that any outdoor lighting minimizes light pollution, in order to reduce development impact on nocturnal environments and wildlife, and increase night sky visibility for people. Minimize light trespass from the site by using only lighting fixtures that are fully shielded with cutoff devices, such that all light is directed downward. Exterior light fixtures with very low light levels, such as solar powered lights, are exempt from this.</p> <p>The T3 zone should have minimal electric lighting, preferably controlled with motion sensors. For non-residential uses, a lighting curfew of 10:00 pm or close of business, whichever is later, is recommended.</p>

I. T2C: Fences, Walls, and Hedges (excluding retaining walls)

1	Front Yard Fences	Fences, walls, and hedges within the front yard shall be limited to a height of 40".
2	External Side Yard Fences	Fences, walls, and hedges that are within 5' of the external side property line shall be limited to a height of 40". If the fence, wall, or hedge is setback at least 5' from the external side property line, the maximum height shall be limited to a height of 72".
3	Internal Side Yards and Rear Yard Fences	Fences, walls, or hedges within rear and internal side yards shall be limited to a height of 72".

J. T2C: Garbage, Recycle, and Compost Storage

1	Allowed Locations	Garbage, recycle, and compost receptacles shall be stored within a garage, an outbuilding, or a rear or side yard that is enclosed by a wall or fence that is at least 60" tall.
---	-------------------	--



I1: Walls, fences, and hedges with a maximum height of 40" are allowed.

I2 and I3: Walls, fences, and hedges with a maximum height of 72" are allowed.

K. T2C: Building and Property Uses

1 Residential

The following uses are allowed by right:

- Multifamily residential units shall only be allowed on the upper floors of buildings. If more than 10 units are provided, at least 10% of the units shall be classified as affordable (see Article 8: Definitions).
- Home Occupation (per the requirements of Section 21A.30 of the Zoning Code)

The following uses are permitted with a conditional use permit:

- Bed and Breakfast (5 rooms maximum)
- Hotel/Motel

2 Recreational/Cultural

The following uses are permitted by right:

- Library
- Museum
- Arboretum

The following uses are permitted with a conditional use permit:

- Sports Club/Fitness Center
- Amusement/Recreation Services/Arcades (Indoor)
- Bowling Center

3 General Services

The following uses are allowed by right:

- General Personal Services
- Funeral Home
- Appliance/Equipment Repair
- Medical or Dental Office/Outpatient Clinic
- Medical or Dental Lab
- Day Care I
- Day Care II
- Veterinary Clinic
- Social Services
- Animal Specialty Services
- Artist Studios
- Nursing and Personal Care Facilities

The following uses are permitted with a conditional use permit:

- Theater (Movie or Live Performance)
- Religious Use

K. T2C: Building and Property Uses (Continued)

4	Government/Business Services	<p>The following uses are allowed by right:</p> <ul style="list-style-type: none"> • General Business Service • Professional Office <p>The following uses are permitted with a conditional use permit:</p> <ul style="list-style-type: none"> • Public Agency or Utility Office • Police Substation • Fire Station • Utility Facility • Self Service Storage
5	Retail/Wholesale	<p>The following uses are allowed by right on the ground floor of buildings:</p> <ul style="list-style-type: none"> • Food Store • Drug Store/Pharmacy • Retail Store: includes florist, book store, apparel and accessories store, furniture/home furnishings store, antique/recycled goods store, sporting goods store, video store, art supply store, hobby store, jewelry store, toy store, game store, photo store, electronic/appliance store, fabric shops, pet shops, and other retail stores (excluding adult-only retail) • Eating and Drinking Places <p>The following uses are permitted with a conditional use permit:</p> <ul style="list-style-type: none"> • Liquor Store or Retail Store Selling Alcohol • Hardware/Building Supply Store • Nursery/Garden Center • Department Store • Auto Dealers (indoor sales rooms only)
6	Manufacturing	<p>Manufacturing uses (excluding Home Industry Uses permitted per the requirements of Section 21A.30 of the Zoning Code) are prohibited.</p>
7	Resource	<p>The following uses are allowed by right:</p> <ul style="list-style-type: none"> • Solar photovoltaic/solar thermal energy systems • Private stormwater management facilities • Growing and Harvesting Crops (within rear/internal side yards or roof gardens, and with organic methods only) • Raising Livestock and Small Animals (per the requirements of Section 21A.30 of the Zoning Code) <p>The following uses are permitted with a special use permit:</p> <ul style="list-style-type: none"> • Wind Turbines
8	Regional	<p>The following uses are permitted with a special use permit:</p> <ul style="list-style-type: none"> • Communication Facility

L. T2C: On-Site Parking Requirements (Minimum)

1	Residential	Residential Units: 1.5 spaces per Unit Bed and Breakfast/Hotel/Motel/: 1 space per rented and owner-occupied bedroom
2	Recreational/Cultural	As required by the Director
3	General Services	1 space per 300 square feet
4	Government/Business Services	1 space per 300 square feet of office, plus 0.9 spaces per 1,000 square feet of indoor storage
5	Retail/Wholesale	1 space per 300 square feet
6	Manufacturing	Not applicable
7	Resource	As required by the Director
8	Regional	As required by the Director

M. T2C: Parking Lot Landscaping

1	Trees	1 tree shall be provided for every 4 parking spaces within the surface parking area. Trees may be located in planters or tree wells.
---	-------	--

Notes

- ¹ If the parking requirements result in a fraction, the number of parking spaces shall be rounded to the nearest whole number with fraction of 0.50 or greater rounding up and fractions below 0.50 rounding down.

N. T2C: Shared Parking

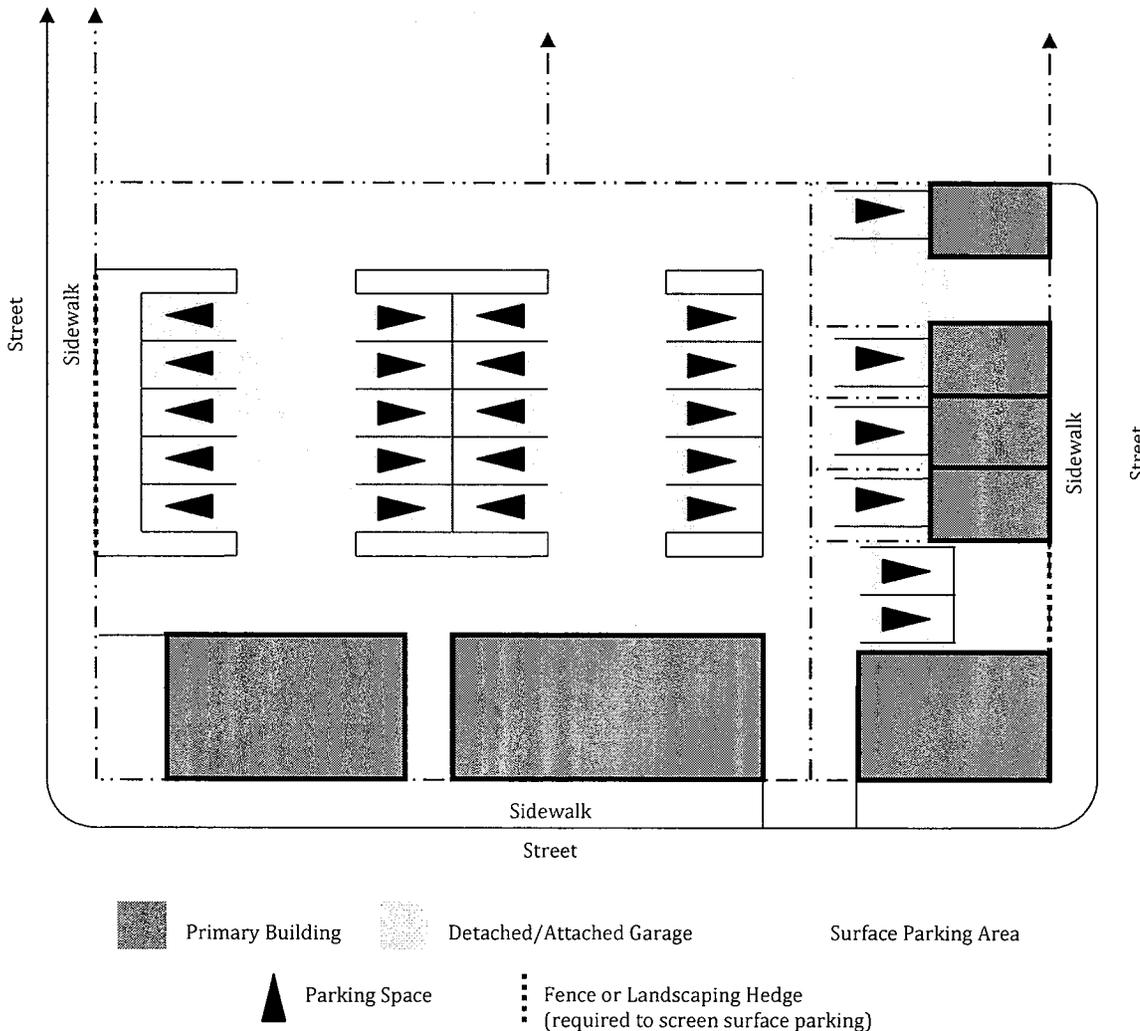
- 1 Requirements The amount of parking may be reduced by an amount determined by the Director when shared parking facilities for two or more uses are proposed. Section 21A.18.040 of the Zoning Code shall regulate the process for determining the reduction in parking.

O. T2C: Parking Options

- 1 Parking Options (refer to Section C for allowed parking locations) To reduce development costs, parking garages are not required. Parking may be provided within an attached garage, detached garage, parking structure, or surface parking lot. Parking for non-residential uses may also be provided off-site in a public parking lot or structure if a parking management district is formed for the area. Dedicated surface parking areas shall be partially screened from views from streets by a wall, fence, or hedge that is at least 40" tall.

P. T2C: Parking Access

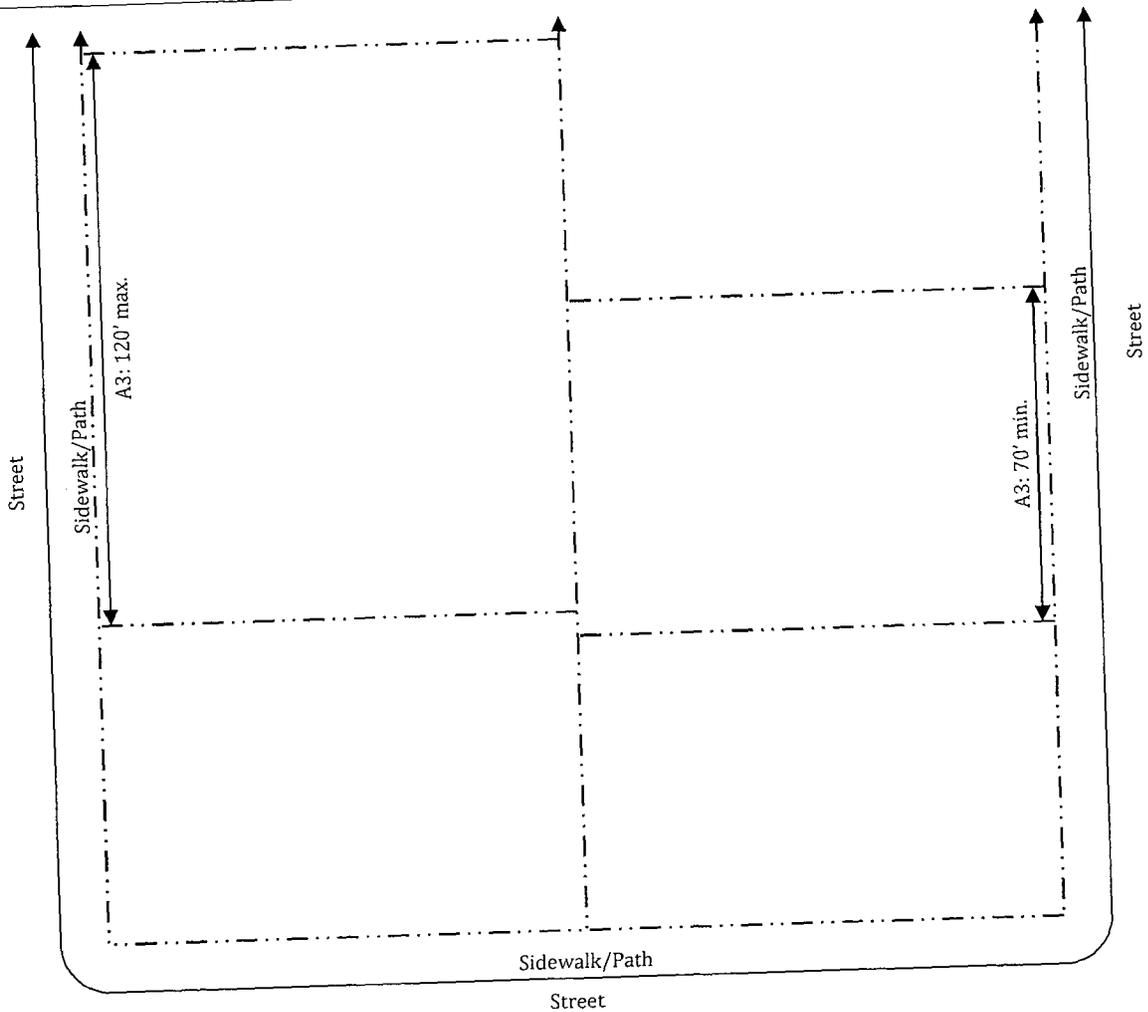
- 1 Driveways Driveways shall not exceed a width of 20'.



6. T3 STANDARDS

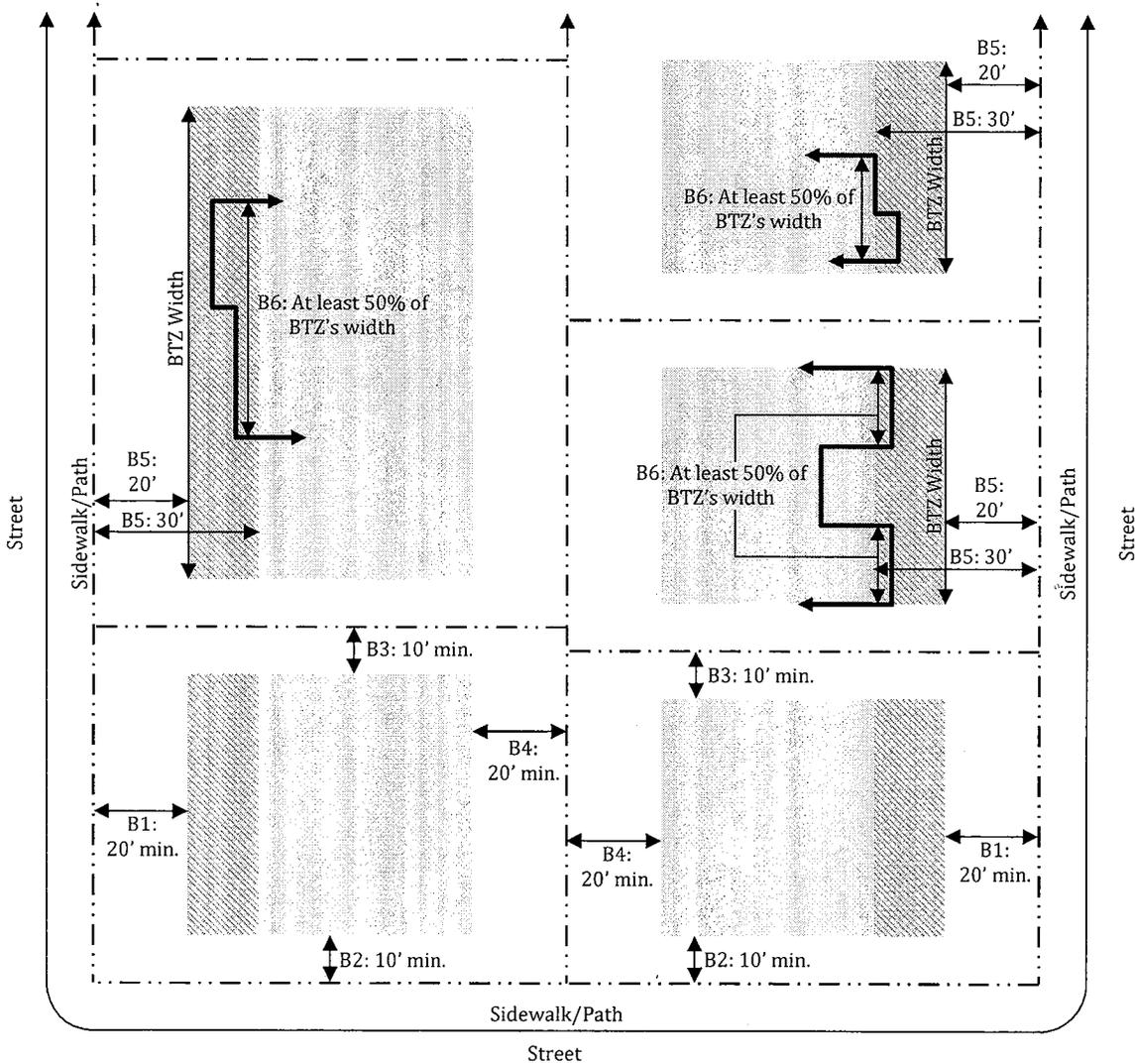
A. T3: Block and Lot Standards

1	Maximum Block Size	All new subdivisions shall require the construction of new streets that create blocks with a maximum perimeter of 2,400 linear feet. When a full block cannot be constructed, street stubs to adjacent properties shall be provided to allow for the future completion of the block (which would be provided on the adjacent property).
2	Gross Residential Density	Up to 4 units per acre by right and up to 8 units per acre with the use of Residential Density Incentives and/or TDRs (refer to chapters 21A.34 and 21A.37 of the Zoning Code). Accessory units are excluded from this calculation.
3	Lot Width	70' minimum to 120' maximum (as measured along the front property line)
4	Impervious Surfaces	No more than 50% of the site shall consist of impervious surfaces.
5	Tree Preservation	30% of all protected trees (see Section 8: Definitions) shall be retained on site. When the required number of protected trees cannot be retained, new trees, with a 2" caliper or greater, shall be planted. The replacement rate shall be 12 caliper inches of new trees to replace each protected tree removed.



B. T3: Placement of Primary Building

1	Front Setback	20' minimum
2	External Side Setback	10' minimum
3	Internal Side Setback	10' minimum
4	Rear Setback	20' minimum
5	Build-to-Zone (BTZ)	The BTZ is the area that is within 20' to 30' of the front property line, excluding side setbacks.
6	BTZ Buildout	At least 50% of the BTZ's width shall be occupied by front facade of the primary building



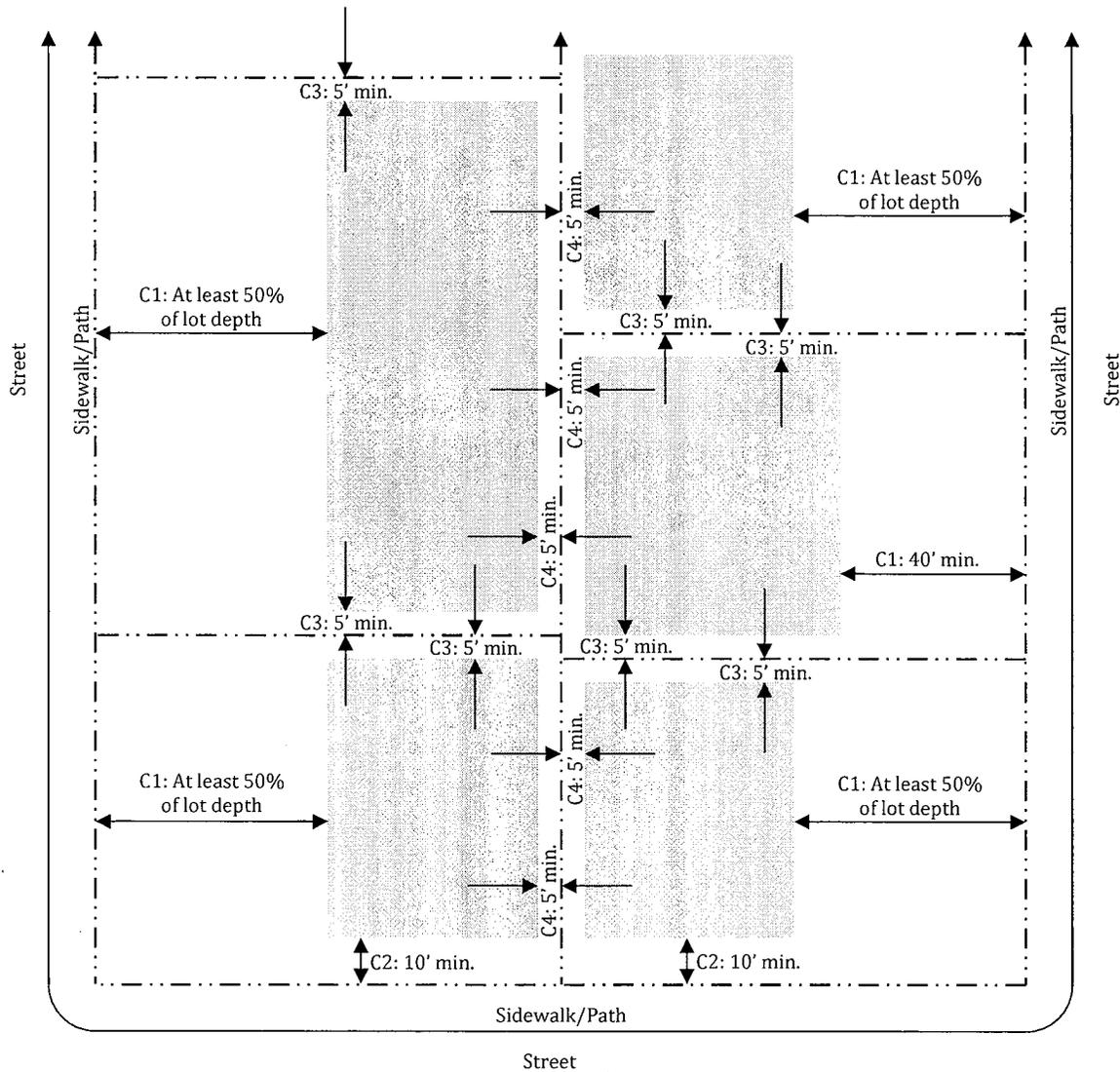
Zone where the primary building may be located

Build-to-Zone

Example Building Facade

C. T3: Placement of Surface Parking, Attached/Detached Garages, and Outbuildings

1	Front Setback	40' minimum or at least 50% of the lot depth, whichever is less.
2	External Side Setback	10' minimum
3	Internal Side Setback	5' minimum
4	Rear Setback	5' minimum if adjacent to a property and 0' if adjacent to an alley.



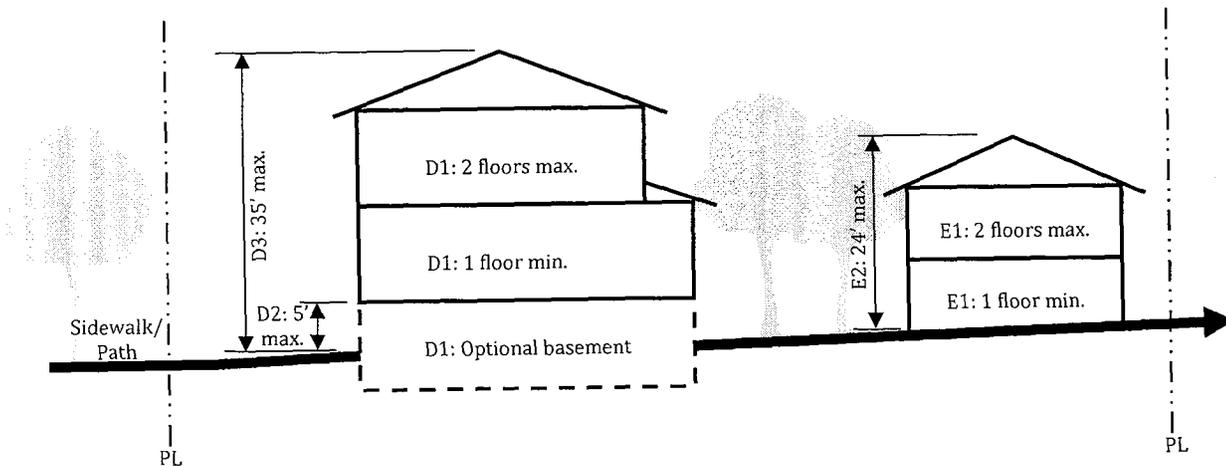
 Zone where surface parking, attached/detached garages, and outbuildings may be located.

D. T3: Building Design (Primary Building)

1	Number of Floors	1 to 2 floors plus an optional basement.
2	Ground Floor Elevation	The elevation of the ground floor may be elevated a maximum of 5' above the average grade of the site along the front facade of the building.
3	Ground Floor Height	Not applicable
4	Maximum Height	35' maximum as measured from the average grade of the site along the front facade of the building.
5	Energy Efficiency Requirements	<p>The primary building should be designed and built to meet the Northwest ENERGY STAR Homes Certification Requirements for Single Family Homes. If the primary building is over 2,500 square feet in size, it should be designed to meet one of the following standards:</p> <ul style="list-style-type: none"> • Design the home to meet LEED for Homes Silver Standard. • Design the home to meet BuiltGreen 4 Star requirement. • Generate one-half of the home's energy needs using on-site renewable energy systems (wind, solar, geothermal, etc).

E. T3: Building Design (Detached Garage and Outbuilding)

1	Number of Floors	1 to 2 floors
2	Maximum Height	24' maximum as measured from the average grade of the site along the front facade of the building.



F. T3: Frontage Elements (Primary Building)

1	Entrance and Frontage	The primary entrance shall be located on the front facade. The entrance shall be located within a portico or porch frontage.
2	Windows	At least 15% of the surface area of front and external side facades shall be occupied by windows.

G. T3: Allowed Encroachments into Setbacks (Primary Building)

1	Porch	Porches may encroach into front and external side setbacks by 6'.
2	Portico	Porticos may encroach into front and external side setbacks by 6'.
3	Balconies	Balconies may project into front and external side setbacks by 6'.
4	Bay Windows	Bay windows may project into all side setbacks by 3'.
5	Window Shades	Window shades (horizontal and vertical) may project into all setbacks by 3'.
6	Roofs	Roofs may project into all setbacks by up to 3'.
7	Chimneys	Chimneys may project into rear, internal side, and external side setbacks by 2'. Chimneys are prohibited on the front facade.

Notes

1	Standards for private frontages are provided in Section 7.2.C
---	---

H. T3: Yards

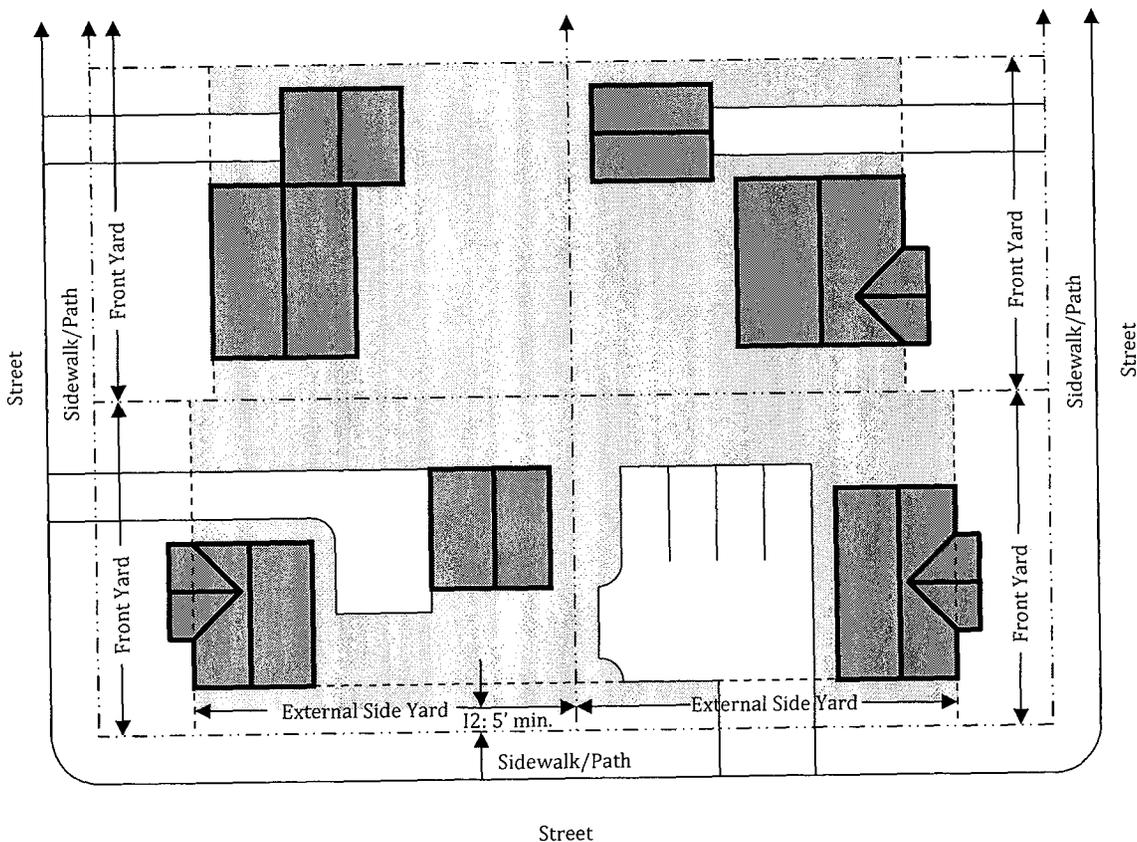
1	Landscaping Options	Yards may consist of natural woodlands or grasslands and/or landscaped yards. With the exception of driveways and walkways, paved surfaces are prohibited in front and external side yards.
2	Landscaping Requirements	Landscaping shall be provided in accordance with Chapter 21A.16 of the Zoning Code, excluding Section 21A.16.070.
3	Wildlife Habitat	<p>All properties should promote the National Wildlife Federation Certified Wildlife Habitat™ Program, by implementing three of the following five categories:</p> <ul style="list-style-type: none"> • Provide Food for Wildlife: Provide nectar or pollen, berries or fruit, or foliage or twigs by planting or retaining native vegetation, shrubs, and/or trees from the King County Native Plant Guide list. • Supply Water for Wildlife: Supply water for wildlife for drinking, bathing, and reproduction, by protecting or creating a rain garden, seasonal pool, or backyard pond • Create Cover for Wildlife: Provide wildlife a safe place to hide from people, predators, and inclement weather, by protecting or creating a wooded area or evergreens, dense shrubs or thickets, or a dead tree or log pile. • Landscape in an Environmentally Friendly Way: Create a yard or landscape that protects the health of the soil, air, water, and habitat, by using mulch for planting beds or amending the soil with compost. • Maintain healthy native plant populations by removing noxious and invasive plants or by salvaging native plants. <p>If removing native vegetation for new development, contact the King County Native Plant Salvage Program to have volunteers remove native plants for replanting.</p>
4	Stormwater Management	All properties shall be designed with stormwater management facilities in compliance with the King County Surface Water Design Manual.
5	Food Production	Vegetable gardens and community gardens are encouraged.
6	Yard or Outdoor Lighting	<p>Ensure that any outdoor lighting minimizes light pollution, in order to reduce development impact on nocturnal environments and wildlife, and increase night sky visibility for people. Minimize light trespass from the site by using only lighting fixtures that are fully shielded with cutoff devices, such that all light is directed downward. Exterior light fixtures with very low light levels, such as solar powered lights, are exempt from this.</p> <p>The T3 zone should have minimal electric lighting, preferably controlled with motion sensors. For non-residential uses, a lighting curfew of 10:00 pm or close of business, whichever is later, is recommended.</p>

I. T3: Fences, Walls, and Hedges (excluding retaining walls)

1	Front Yard Fences	Fences, walls, and hedges within the front yard shall be limited to a height of 40".
2	External Side Yard Fences	Fences, walls, and hedges that are within 5' of the external side property line shall be limited to a height of 40". If the fence, wall, or hedge is set back at least 5' from the external side property line, the maximum height shall be limited to a height of 72".
3	Internal Side Yards and Rear Yard Fences	Fences, walls, or hedges within rear and internal side yards shall be limited to a height of 72".

J. T3: Garbage, Recycle, and Compost Storage

1	Allowed Locations	Garbage, recycle, and compost receptacles shall be stored within a garage, an outbuilding, or a rear or side yard that is enclosed by a wall or fence that is at least 60" tall.
---	-------------------	--



11: Zone where walls, fences, and hedges with a maximum height of 40" are allowed.

12 and 13: Zone where walls, fences, and hedges with a maximum height of 72" are allowed.

K. T3: Building and Property Uses

1	Residential	<p>The following uses are allowed by right:</p> <ul style="list-style-type: none"> • One Primary Unit and one optional Accessory Unit per lot • Home Occupation (per the requirements of Section 21A.30 of the Zoning Code) <p>The following uses are permitted with a conditional use permit:</p> <ul style="list-style-type: none"> • Home Industry (per the requirements of Section 21A.30 of the Zoning Code) • Community Residential Facility I • Senior Citizen Assisted Housing • Dormitory (if associated with an adjacent religious use) • Bed and Breakfast (5 rooms maximum)
2	Recreational/Cultural	<p>The following uses are permitted with a conditional use permit:</p> <ul style="list-style-type: none"> • Library • Museum • Arboretum
3	General Services	<p>The following uses are permitted with a conditional use permit on corner lots:</p> <ul style="list-style-type: none"> • General Personal Services • Funeral Home • Appliance/Equipment Repair • Medical Office/Outpatient Clinic <p>The following uses are permitted with a conditional use permit:</p> <ul style="list-style-type: none"> • Artist Studios • Day Care I • Day Care II • Religious Use
4	Government/Business Services	<p>The following uses are permitted with a conditional use permit on corner lots:</p> <ul style="list-style-type: none"> • Public Agency or Utility Office • General Business Service <p>The following uses are permitted with a conditional use permit:</p> <ul style="list-style-type: none"> • Professional Office • Police Substation • Fire Station • Utility Facility

K. T3: Building and Property Uses (Continued)

5	Retail/Wholesale	<p>The following uses are permitted with a conditional use permit on corner lots:</p> <ul style="list-style-type: none"> • Food Store • Florist • Book Store • Drug Store/Pharmacy • Eating and Drinking Places (limited to a seating occupancy of 20 people)
6	Manufacturing	<p>Manufacturing uses (excluding Home Industry Uses permitted per the requirements of Section 21A.30 of the Zoning Code) are prohibited.</p>
7	Resource	<p>The following uses are allowed by right:</p> <ul style="list-style-type: none"> • Solar photovoltaic/solar thermal energy systems • Private stormwater management facilities • Growing and Harvesting Crops (within rear or internal side yards and with organic methods only) • Raising Livestock and Small Animals (per the requirements of Section 21A.30 of the Zoning Code) <p>The following uses are permitted with a conditional use permit:</p> <ul style="list-style-type: none"> • Wind turbines • Hatchery/Fish Preserve • Aquaculture • Wildlife Shelters
8	Regional	<p>The following uses are permitted with a conditional use permit:</p> <ul style="list-style-type: none"> • Communication Facility

L. T3: On-Site Parking Requirements (Minimum)¹

1	Residential	Primary Unit: 2 spaces Accessory Unit: 1 space Group Housing for Farm Workers: Parking is not required. Bed and Breakfast (5 rooms maximum): 1 space per rented and owner-occupied bedroom
2	Recreational/Cultural	As required by the Director
3	General Services	Day Care I: 2 spaces Veterinary Clinic: 1 space per 300 feet of internal space Appliance/Equipment Repair: 1 space per 300 feet of internal space
4	Government/Business Services	1 space per 300 square feet of office, plus 0.9 spaces per 1,000 square feet of indoor storage
5	Retail/Wholesale	Retail (including mix of retail and wholesale): 1 space per 300 square feet of indoor space Wholesale: 0.9 spaces per 1,000 square feet of indoor space
6	Manufacturing	Manufacturing: 0.9 spaces per 1,000 square feet Winery/Brewery: 0.9 spaces per 1,000 square feet plus 1 space per 50 square feet of tasting area
7	Resource	As required by the Director
8	Regional	As required by the Director

M. T3: Parking Lot Landscaping

1	Trees	1 tree shall be provided for every 4 parking spaces within the surface parking area. Trees may be located in planters or tree wells.
---	-------	--

Notes

¹ If the parking requirements result in a fraction, the number of parking spaces shall be rounded to the nearest whole number with fraction of 0.50 or greater rounding up and fractions below 0.50 rounding down.

N. T3: Shared Parking

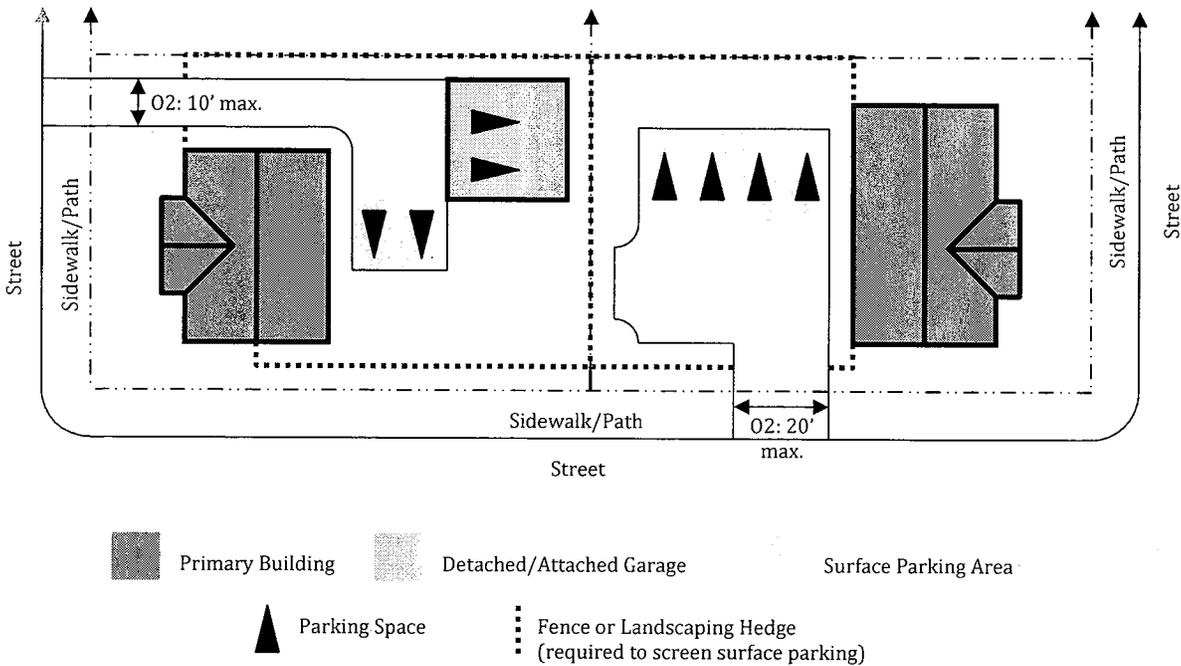
- | | | |
|---|--------------|---|
| 1 | Requirements | The amount of parking may be reduced by an amount determined by the Director when shared parking facilities for two or more uses are proposed. Section 21A.18.040 of the Zoning Code shall regulate the process for determining the reduction in parking. |
|---|--------------|---|

O. T3: Parking Options

- | | | |
|---|--|---|
| 1 | Parking Options (refer to Section C for allowed parking locations) | To reduce development costs, parking garages are not required. Parking may be provided within an attached garage, detached garage, or dedicated surface parking area. |
|---|--|---|

P. T3: Parking Access

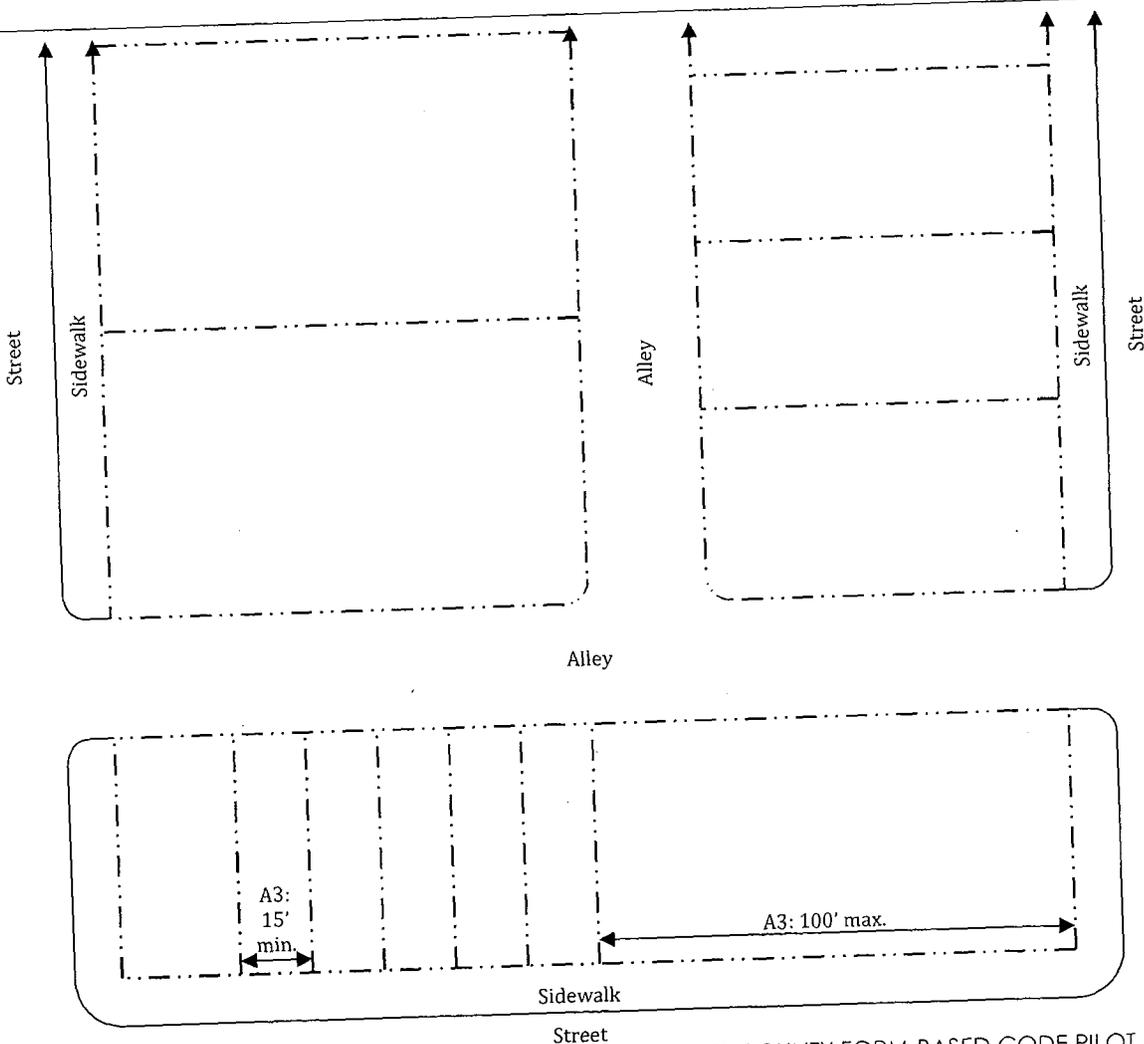
- | | | |
|---|-----------|---|
| 1 | Alleys | Alleys are encouraged (but not required) to provide access to parking areas and to minimize driveway curb cuts along streets. If an alley is provided, driveway access from the street is prohibited. |
| 2 | Driveways | Driveways within the front setback shall not exceed a width of 10'. Driveways within the external side setback shall not exceed a width of 20'. |



7. T4 STANDARDS

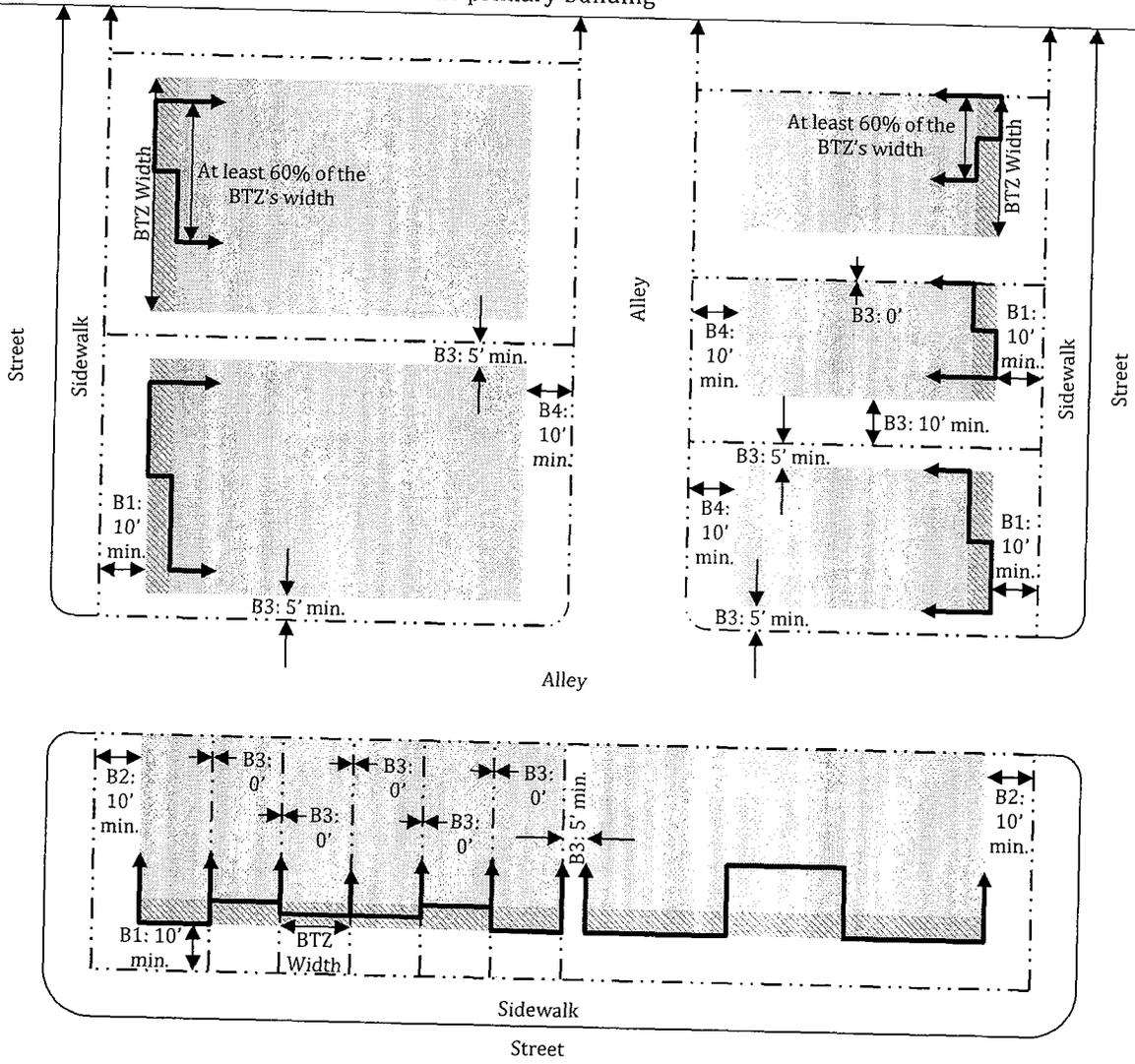
A. T4: Block and Lot Standards

1	Maximum Block Size	All new subdivisions shall require the construction of new streets that create blocks with a maximum perimeter of 2,000 linear feet. When a full block cannot be constructed, street stubs to adjacent properties shall be provided to allow for the future completion of the block (which would be provided on the adjacent property).
2	Gross Residential Density	12 to 24 units per acre by right and up to 36 units per acre with the use of Residential Density Incentives and/or TDRs (refer to chapters 21A.34 and 21A.37 of the Zoning Code). Accessory units are excluded from this calculation.
3	Lot Width	15' minimum to 100' maximum (as measured along the front property line)
4	Impervious Surfaces	No more than 80% of the site shall consist of impervious surfaces.
5	Tree Preservation	10% of all protected trees (see Section 8: Definitions) shall be retained on site. When the required number of protected trees cannot be retained, new trees, with a 2" caliper or greater, shall be planted. The replacement rate shall be 12 caliper inches of new trees to replace each protected tree removed.



B. T4: Placement of Primary Building

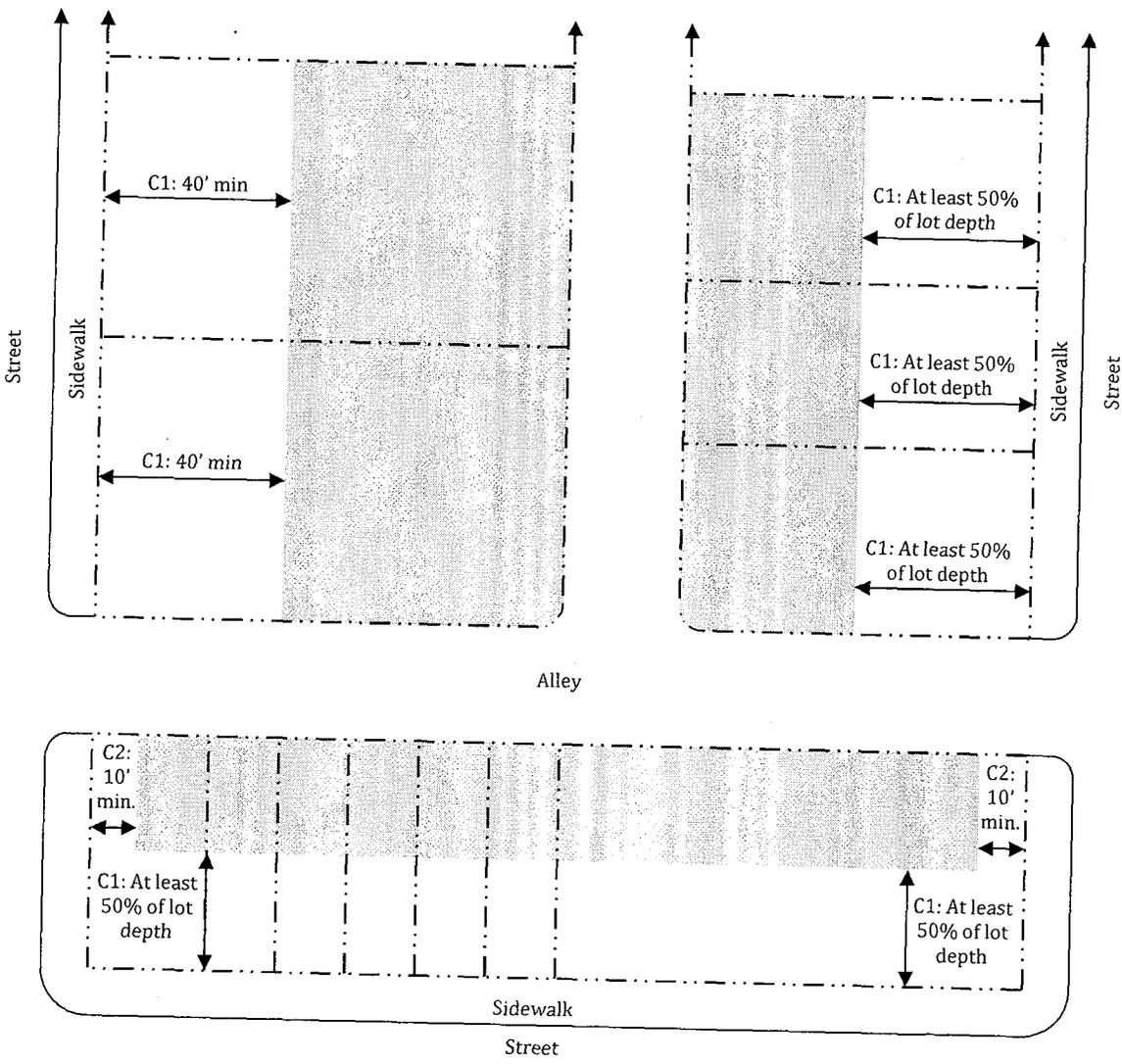
1	Front Setback	10' minimum
2	External Side Setback	10' minimum
3	Internal Side Setback	5' minimum for lots with two side yards, 0' and 10' minimum for lots with one side yard, and 0' for building with no side yards. All lots that have a width greater than 50' shall have two side yards.
4	Rear Setback	10' minimum. A setback is not required for segments of the building that are occupied by a garage.
5	Build-to-Zone (BTZ)	The BTZ is the area that is within 10' to 15' of the front property line, excluding side setbacks.
6	BTZ Buildout	At least 60% of the BTZ's width shall be occupied by front facade of the primary building



Zone where the primary building may be located
 Build-to-Zone
 Example Building Facade

C. T4: Placement of Surface Parking, Attached/Detached Garages, Parking Structures, and Outbuildings

1	Front Setback	40' minimum or at least 50% of the lot depth, whichever is less.
2	External Side Setback	10' minimum
3	Internal Side Setback	A setback is not required
4	Rear Setback	A setback is not required
5	Exceptions	Setbacks for podium and underground parking levels may have the same setbacks as the building.



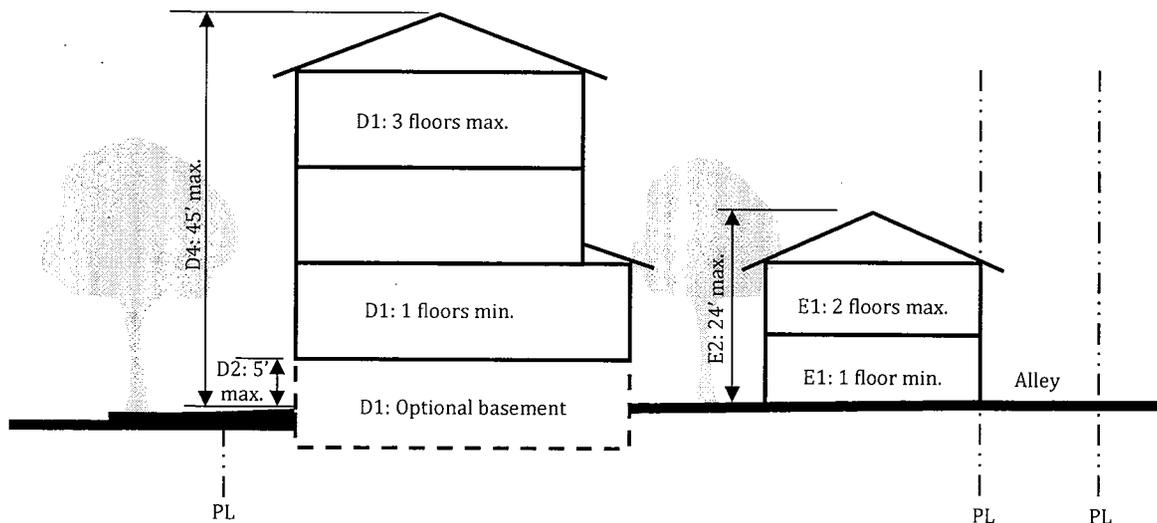
 Zone where surface parking, attached/detached garages, above-ground parking structures, and outbuildings may be located

D. T4: Building Design (Primary Building)

1	Number of Floors	1 to 3 floors plus an optional basement.
2	Ground Floor Elevation	The elevation of the ground floor may be elevated a maximum of 5' above the average grade of the site along the front facade of the building. If the ground floor is designed to accommodate non-residential uses, the elevation of the ground floor should be placed near the elevation of the sidewalk to minimize the need for stairs and ADA ramps.
3	Ground Floor Height	If the ground floor is designed to accommodate non-residential space, the height of the ceiling (as measured from floor plate to floor plate) shall be at least 15'.
4	Maximum Height	45' maximum as measured from the average grade of the site along the front facade of the building.
5	Energy Efficiency Requirements	For residential buildings, the building should be designed and built to meet the Northwest ENERGY STAR Homes Certification Requirements for Single Family Homes or Multifamily Homes. For commercial and mixed-use buildings, the building should be designed to earn the ENERGY STAR rating by achieving a rating of 75 or higher using the EPA Energy Target Finder tool.

E. T4: Building Design (Detached Garage and Outbuilding)

1	Number of Floors	1 to 2 floors
2	Maximum Height	24' maximum as measured from the average grade of the site along the front facade of the building.



F. T4: Frontage Elements (Primary Building)

1	Entrance and Frontage	The primary entrance shall be located on the front facade. The entrance shall be located within a portico, porch, stoop, storefront, terrace/lightwell, or forecourt frontage
2	Windows	At least 50% of the surface area of ground floor front and external side facades with storefronts shall be occupied by windows. At least 20% of the surface area of all other front and external side facades shall be occupied by windows.

G. T4: Allowed Encroachments into Setbacks (Primary Building)

1	Porch	Porches may encroach into front and external side setbacks by 6'.
2	Portico	Porticos may encroach into front and external side setbacks by 6'.
3	Stoops	Stoops may encroach into front and external side setbacks by 6'.
4	Balconies	Balconies may project into front and external side setbacks by 6'.
5	Bay Windows	Bay windows may project into all front and external side setbacks by 3'.
6	Window Shades	Window shades (horizontal and vertical) may project into all setbacks by 3'.
7	Roofs	Roofs may project into all setbacks by 3'.
8	Chimneys	Chimneys may project into rear, internal side, and external side setbacks by 2'. Chimneys are prohibited on the front facade.
9	Storefront Awnings	Storefront awning may project into front and external side setbacks by up to 6'.

Notes

¹ Standards for private frontages are provided in Section 7.2.C

H. T4: Yards

1	Landscaping Options	Yards shall be landscaped. With the exception of driveways, walkways, and patio space (only allowed in yards adjacent to commercial uses), paved surfaces are prohibited in front and external side yards.
2	Landscaping Requirements	Landscaping shall be provided in accordance with Chapter 21A.16 of the Zoning Code, excluding Section 21A.16.070.
3	Wildlife Habitat	Not applicable
4	Stormwater Management	All properties shall be designed with stormwater management facilities in compliance with the King County Surface Water Design Manual.
5	Food Production	Vegetable gardens, community gardens, and green roofs are encouraged.
6	Yard or Outdoor Lighting	Ensure that any outdoor lighting minimizes light pollution, in order to reduce development impact on nocturnal environments and wildlife, and increase night sky visibility for people. Minimize light trespass from the site by using only lighting fixtures that are fully shielded with cutoff devices, such that all light is directed downward. Exterior light fixtures with very low light levels, such as solar powered lights, are exempt from this.

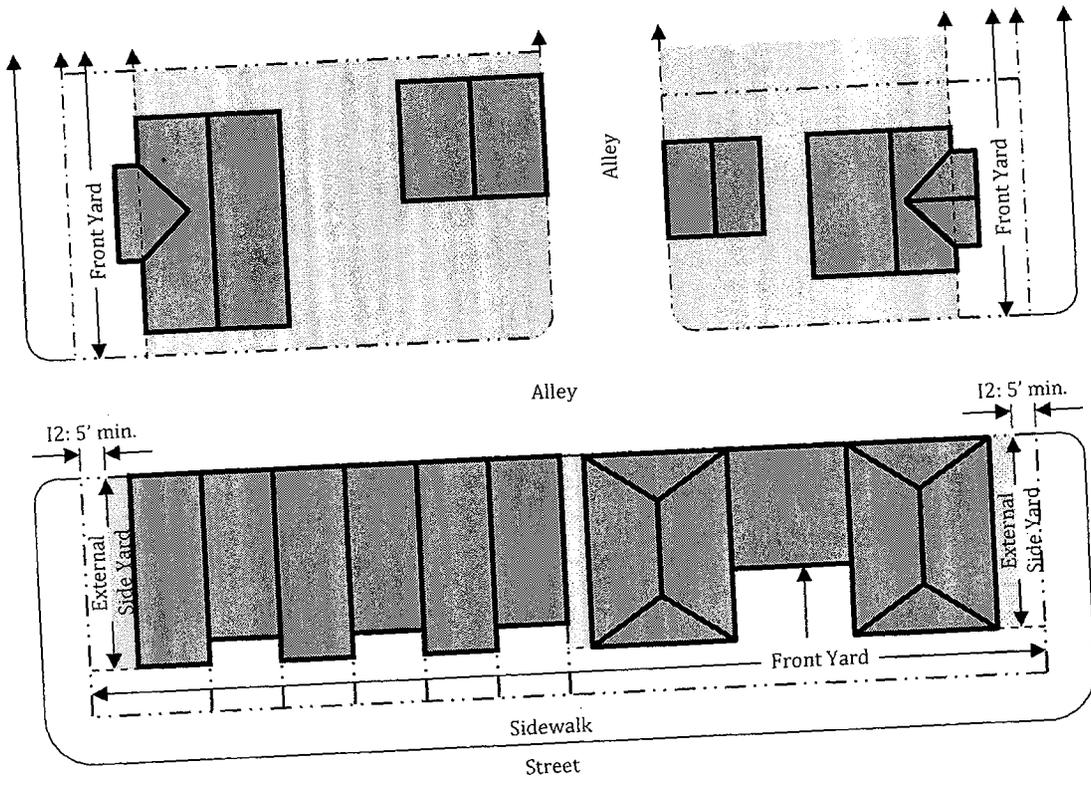
The T4 zone should have electric lighting preferably controlled with dimmers, time switch, or motion sensors. For non-residential uses, a lighting curfew of 10:00 pm or close of business, whichever is later, is recommended.

I. T4: Fences, Walls, and Hedges (excluding retaining walls)

1	Front Yard Fences	Fences, walls, and hedges within the front yard shall be limited to a height of 40".
2	External Side Yard Fences	Fences, walls, and hedges that are within 5' of the external side property line shall be limited to a height of 40". If the fence, wall, or hedge is setback at least 5' from the external side property line, the maximum height shall be limited to a height of 72".
3	Internal Side Yards and Rear Yard Fences	Fences, walls, or hedges within rear and internal side yards shall be limited to a height of 72".

J. T4: Garbage, Recycle, and Compost Storage

1	Allowed Locations	Garbage, recycle, and compost receptacles shall be stored within a garage, an outbuilding, or a rear or side yard that is enclosed by a wall or fence that is at least 60" tall.
---	-------------------	--



11: Walls, fences, and hedges with a maximum height of 40" are allowed.

12 and 13: Walls, fences, and hedges with a maximum height of 72" are allowed.

K T4: Building and Property Uses

1	Residential	<p>The following uses are allowed by right:</p> <ul style="list-style-type: none"> • Single Family (attached and detached): One Primary Unit and one optional Accessory Unit per lot • Multifamily Residential Units: If more than 10 units are provided, at least 10% of the units shall be classified as affordable (see Article 8: Definitions). • Home Occupation (per the requirements of Section 21A.30 of the Zoning Code) • Dormitory • Senior Citizen Assisted Housing <p>The following uses are permitted with a conditional use permit:</p> <ul style="list-style-type: none"> • Home Industry (per the requirements of Section 21A.30 of the Zoning Code) • Community Residential Facility I • Community Residential Facility II • Bed and Breakfast (5 rooms maximum) • Hotel/Motel
2	Recreational/Cultural	<p>The following uses are permitted with a conditional use permit:</p> <ul style="list-style-type: none"> • Sports Club/Fitness Center • Library • Museum • Arboretum
3	General Services	<p>The following uses are allowed by right:</p> <ul style="list-style-type: none"> • General Personal Services • Funeral Home • Appliance/Equipment Repair • Medical or Dental Office/Outpatient Clinic • Medical or Dental Lab • Day Care I • Day Care II • Veterinary Clinic • Social Services • Animal Specialty Services • Artist Studios • Nursing and Personal Care Facilities <p>The following uses are permitted with a conditional use permit:</p> <ul style="list-style-type: none"> • Kennel • Theater (Movie or Live Performance) • Religious Use

K. T4: Building and Property Uses (Continued)

4	Government/Business Services	<p>The following uses are allowed by right:</p> <ul style="list-style-type: none"> • General Business Service • Professional Office <p>The following uses are permitted with a conditional use permit:</p> <ul style="list-style-type: none"> • Public Agency or Utility Office • Police Substation • Fire Station • Utility Facility • Self Service Storage
5	Retail/Wholesale	<p>The following uses are allowed by right on the ground floor of buildings:</p> <ul style="list-style-type: none"> • Food Store • Drug Store/Pharmacy • Retail Store: includes florist, book store, apparel and accessories store, hardware/building supply store less than 15,000 sq. ft., department store less than 15,000 sq. ft., furniture/home furnishings store, antique/recycled goods store, sporting goods store, video store, art supply store, hobby store, jewelry store, toy store, game store, photo store, electronic/appliance store, fabric shops, pet shops, and other retail stores (excluding adult-only retail) • Eating and Drinking Places (with a maximum seating capacity of 40) <p>The following uses are permitted with a conditional use permit:</p> <ul style="list-style-type: none"> • Liquor Store or Retail Store Selling Alcohol • Hardware/Building Supply Store 15,000 sq. ft. or greater • Nursery/Garden Center • Department Store 15,000 sq. ft. or greater • Auto Dealers
6	Manufacturing	<p>Manufacturing uses (excluding Home Industry Uses permitted per the requirements of Section 21A.30 of the Zoning Code) are prohibited.</p>
7	Resource	<p>The following uses are allowed by right:</p> <ul style="list-style-type: none"> • Solar photovoltaic/solar thermal energy systems • Private stormwater management facilities • Growing and Harvesting Crops (within rear/internal side yards or roof gardens, and with organic methods only) • Raising Livestock and Small Animals (per the requirements of Section 21A.30 of the Zoning Code) <p>The following uses are permitted with a conditional use permit:</p> <ul style="list-style-type: none"> • Wind turbines
8	Regional	<p>The following uses are permitted with a special use permit:</p> <ul style="list-style-type: none"> • Communication Facility

L. T4: On-Site Parking Requirements (Minimum)¹

1	Residential	Residential Units: 1.5 spaces per Unit Accessory Unit: 1 space per Unit Bed and Breakfast/Hotel/Motel/: 1 space per rented and owner-occupied bedroom Dormitory: 1 per 2 bedrooms Senior Citizen Assisted Housing: 1 per two residents Community Residential Facility I: 1 per two residents Community Residential Facility II: 1 per two residents
2	Recreational/Cultural	As required by the Director
3	General Services	1 space per 300 square feet
4	Government/Business Services	1 space per 300 square feet of office, plus 0.9 spaces per 1,000 square feet of indoor storage
5	Retail/Wholesale	1 space per 300 square feet
6	Manufacturing	Not applicable
7	Resource	As required by the Director
8	Regional	As required by the Director

M. T4: Parking Lot Landscaping

1	Trees	1 tree shall be provided for every 4 parking spaces within the surface parking area. Trees may be located in planters or tree wells.
---	-------	--

Notes

¹ If the parking requirements result in a fraction, the number of parking spaces shall be rounded to the nearest whole number with fraction of 0.50 or greater rounding up and fractions below 0.50 rounding down.

N. T4: Shared Parking

1 Requirements

The amount of parking may be reduced by an amount determined by the Director when shared parking facilities for two or more uses are proposed. Section 21A.18.040 of the Zoning Code shall regulate the process for determining the reduction in parking.

O. T4: Parking Options

1 Parking Options (refer to Section C for allowed parking locations)

To reduce development costs, parking garages are not required. Parking may be provided within an attached garage, detached garage, parking structure, or surface parking lot. Parking for non-residential uses may also be provided off-site in a public parking lot or structure if a parking management district is formed for the area. Dedicated surface parking areas shall be partially screened from views from streets by a wall, fence, or hedge that is at least 40" tall.

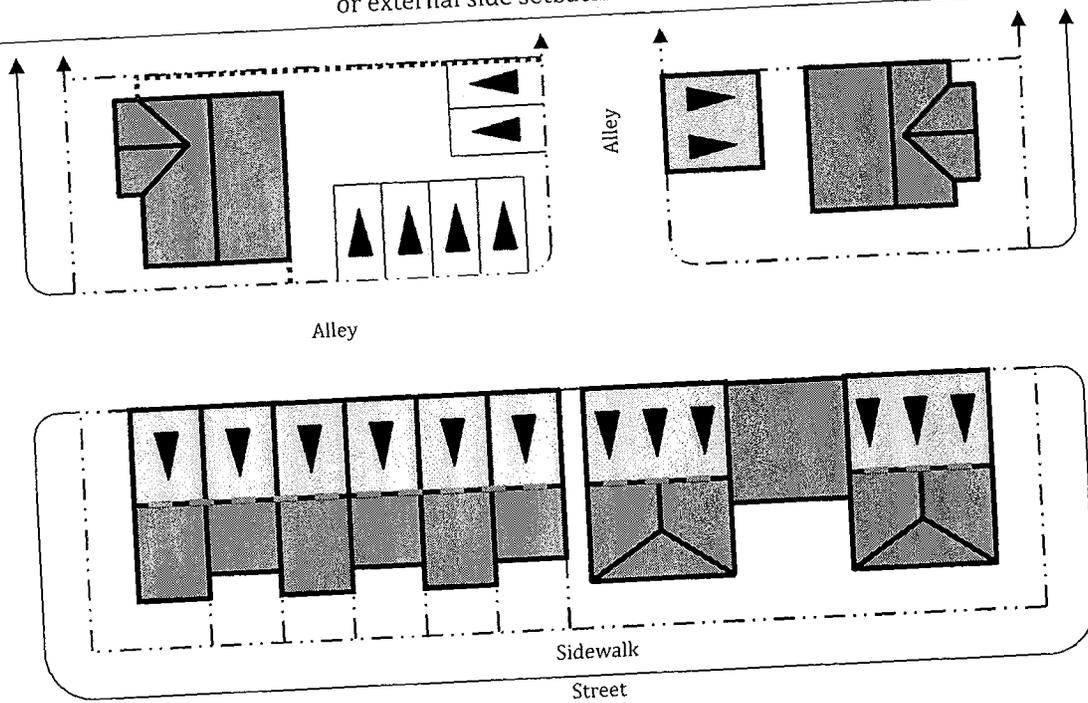
P. T4: Parking Access

1 Alleys

Alleys are required for projects that create new blocks to provide access to parking areas and to minimize driveway curb cuts along streets. Alleys are encouraged (but not required) for projects on existing blocks to provide access to parking areas. Driveway access from the street is only allowed on lots where an alley cannot be provided.

2 Driveways

Driveways shall not exceed a width of 20' within the front setback or external side setback.

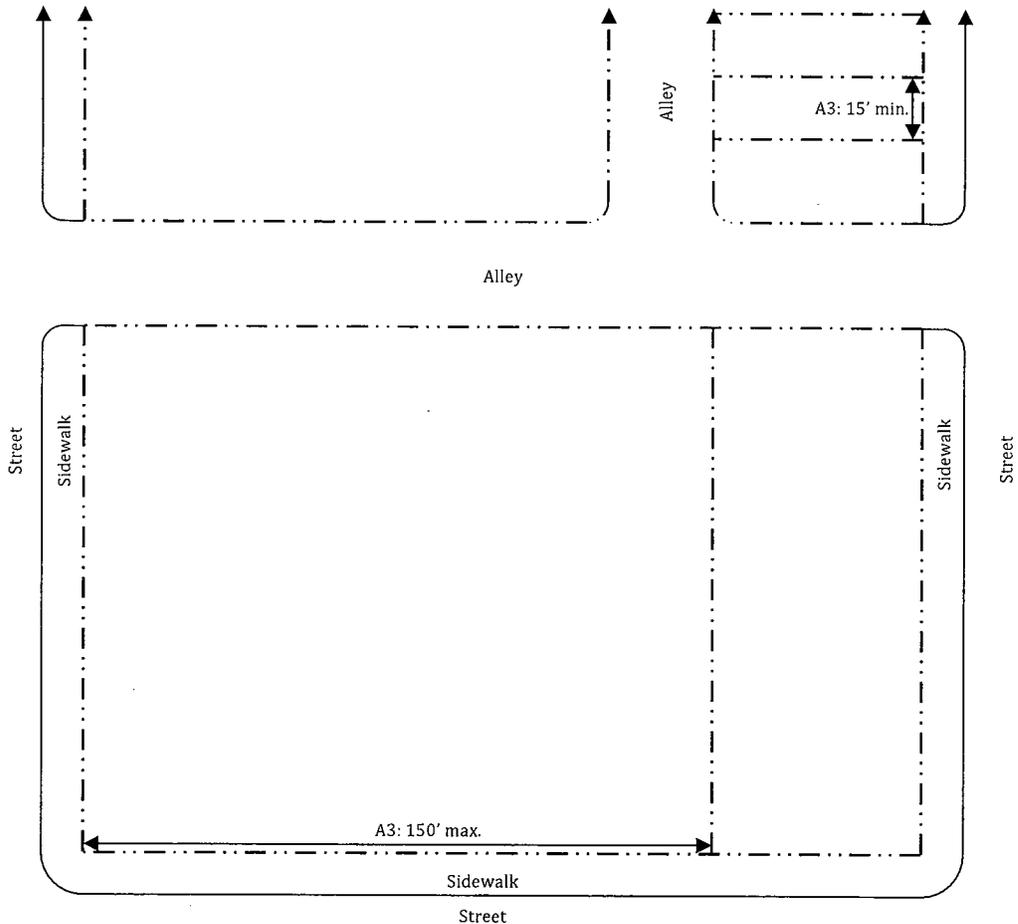


- Primary Building
- Detached/Attached Garage
- Surface Parking Area
- Parking Space
- Fence or Landscaping Hedge (required to screen surface parking)

8. T5 STANDARDS

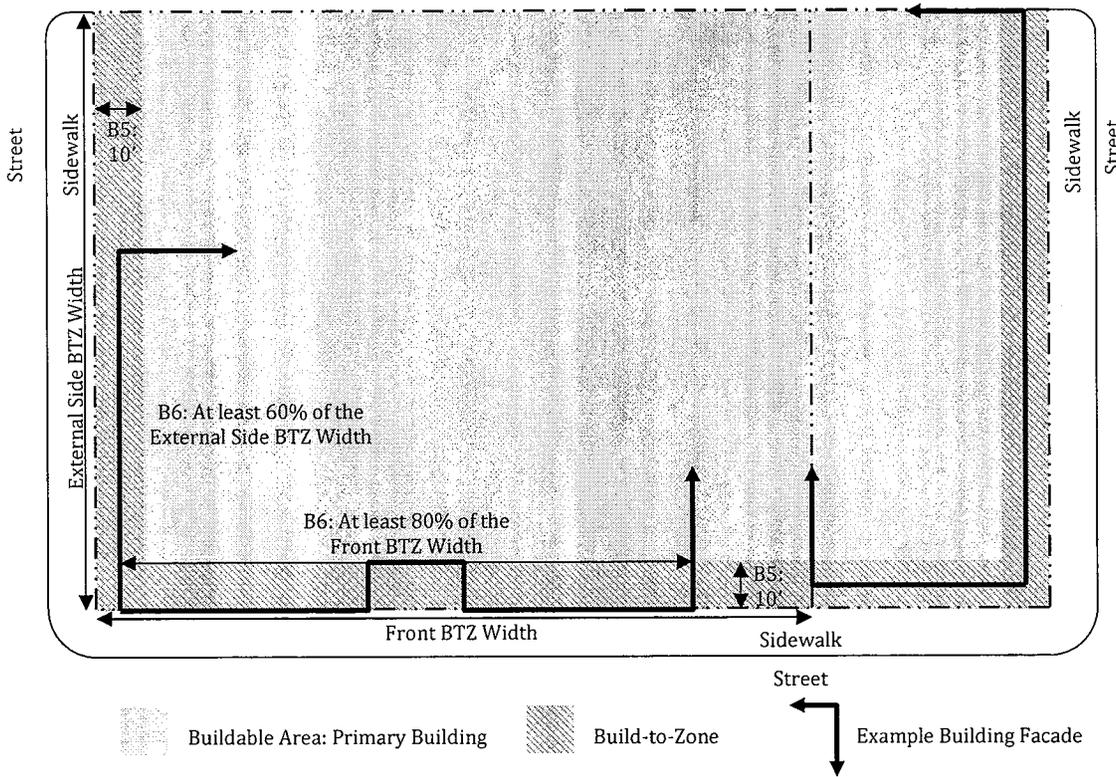
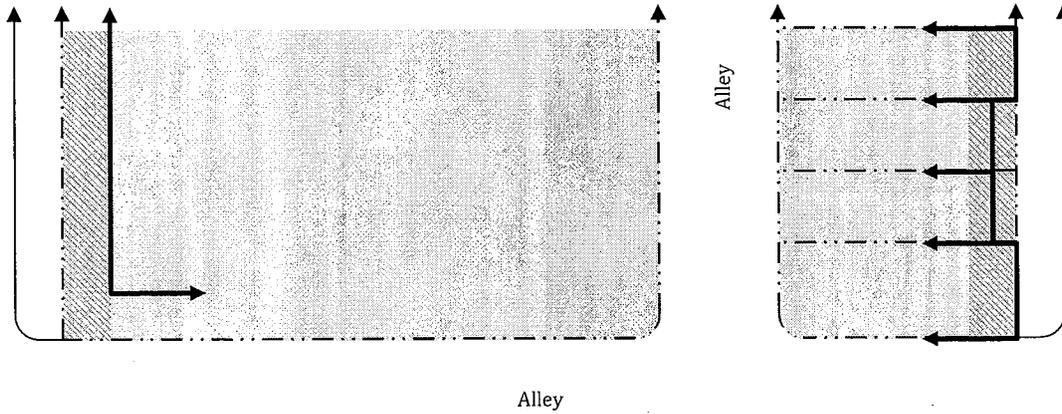
A. T5: Block and Lot Standards

1	Maximum Block Size	All new subdivisions shall require the construction of new streets that create blocks with a maximum perimeter of 2,000 linear feet. When a full block cannot be constructed, street stubs to adjacent properties shall be provided to allow for the future completion of the block (which would be provided on the adjacent property).
2	Density	Up to 36 units per acre by right and up to 54 units per acre with the use of Residential Density Incentives and/or TDRs (refer to chapters 21A.34 and 21A.37 of the Zoning Code). Accessory units are excluded from this calculation.
3	Lot Width	15' minimum and 150' maximum
4	Impervious Surfaces	No more than 90% of the site shall consist of impervious surfaces.
5	Tree Preservation	5% of all protected trees (see Section 8: Definitions) shall be retained on site. When the required number of protected trees cannot be retained, new trees, with a 2" caliper or greater, shall be planted. The replacement rate shall be 12 caliper inches of new trees to replace each protected tree removed.
6	Open Space	50 square feet per unit. Play equipment, outdoor grills, furniture and other features shall be provided to make the space functional.



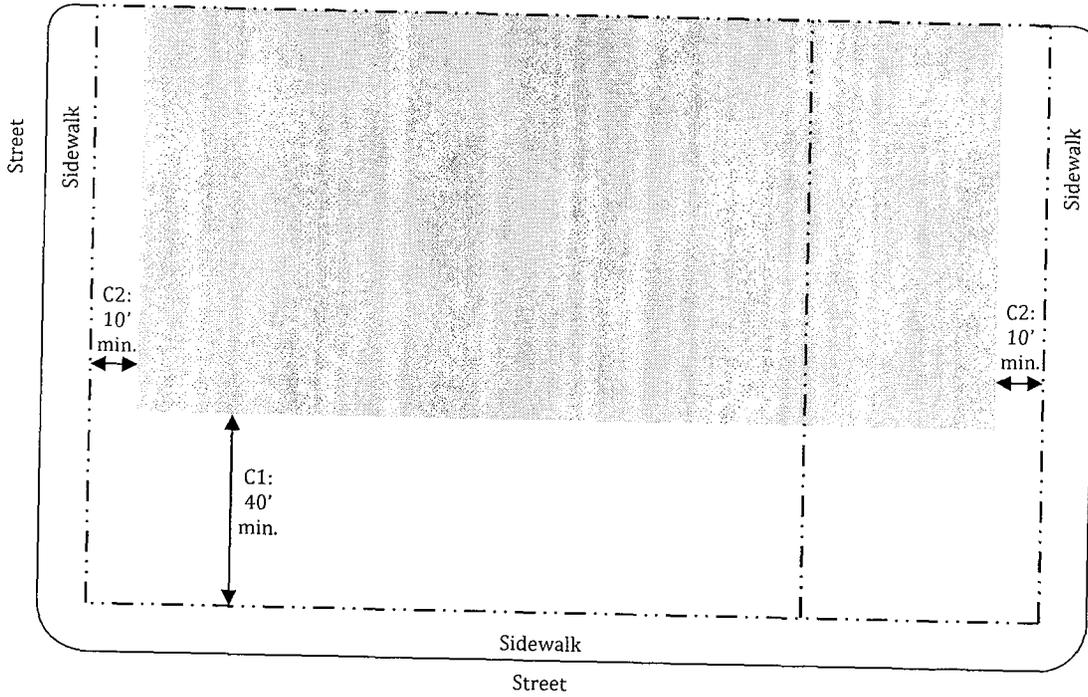
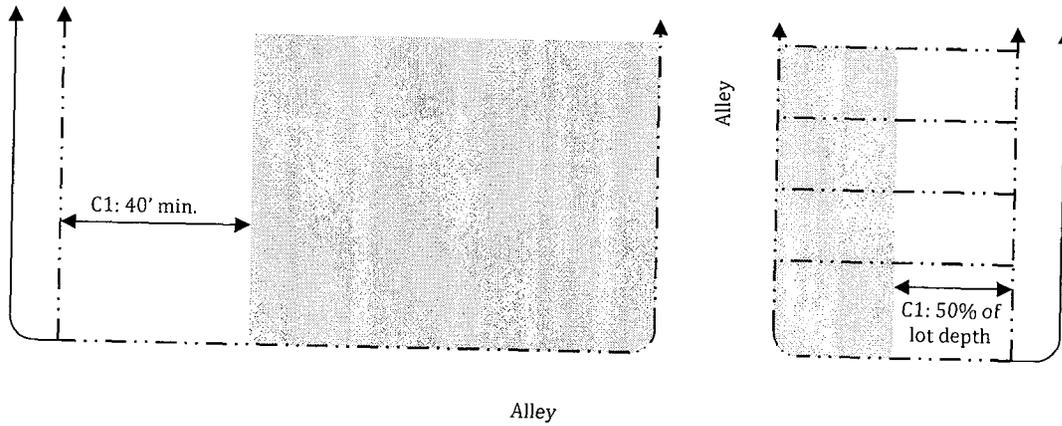
B. T5: Placement of Primary Building

1	Front Setback	A setback is not required
2	External Side Setback	A setback is not required
3	Internal Side Setback	A setback is not required
4	Rear Setback	A setback is not required
5	Build-to-Zone (BTZ)	The front BTZ is the area that is within 10' of the front property line. The external side BTZ is the area that is within 10' of the external side property line.
6	BTZ Buildout	At least 80% of the front BTZ's width and 60% of the external side BTZ's width shall be occupied by facades.



C. T5: Placement of Surface Parking, Attached / Detached Garages, Parking Structures, and Outbuildings

1	Front Setback	40' minimum or at least 50% of the lot depth, whichever is less.
2	External Side Setback	10' minimum
3	Internal Side Setback	A setback is not required
4	Rear Setback	A setback is not required
5	Exceptions	Setbacks for podium and underground parking levels may have the same setbacks as the building.



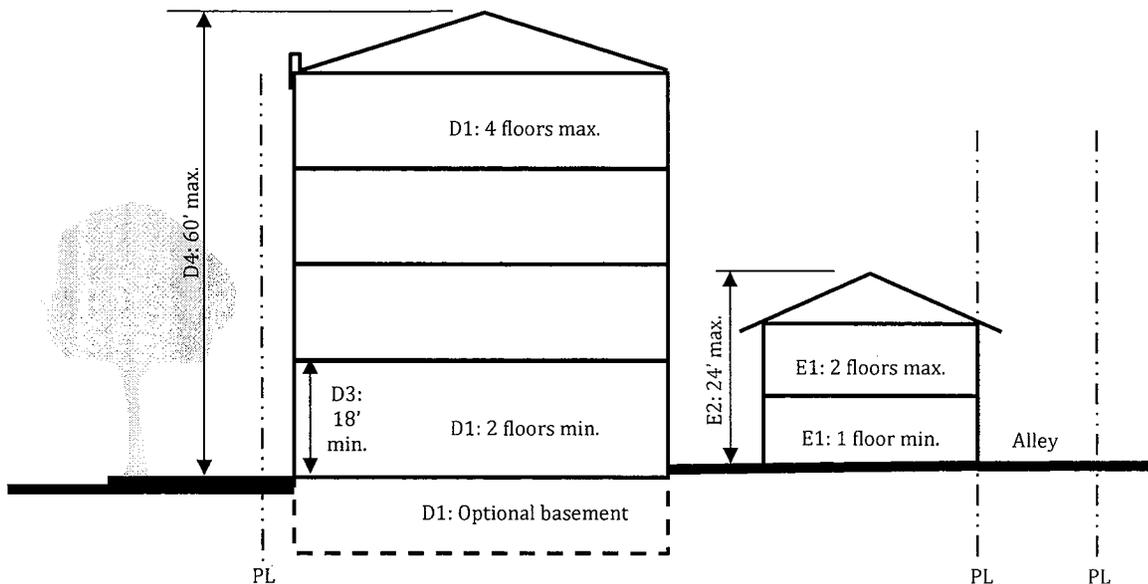
 Zone where surface parking, attached/detached garages, above-ground parking structures, and outbuildings may be located

D. T5: Building Design (Primary Building)

1	Number of Floors	2 to 4 floors plus an optional basement by right, and up to 6 floors with the use of Residential Density Incentives and/or Transfer of Development Rights (refer to chapters 21A.34 and 21A.37 of the Zoning Code).
2	Ground Floor Elevation	The elevation of the ground floor may be elevated a maximum of 5' above the average grade of the site along the front facade of the building. If the ground floor is designed to accommodate non-residential uses, the elevation of the ground floor should be placed near the elevation of the sidewalk to minimize the need for stairs and ADA ramps.
3	Ground Floor Height	If the ground floor is designed to accommodate non-residential space, the height of the ceiling (as measured from floor plate to floor plate) shall be at least 18'.
4	Maximum Height	75' maximum as measured from the average grade of the site along the front facade of the building.
5	Energy Efficiency Requirements	For residential buildings, the building should be designed and built to meet the Northwest ENERGY STAR Homes Certification Requirements for Single Family Homes or Multifamily Homes. For commercial and mixed-use buildings, the building should be designed to earn the <i>ENERGY STAR</i> rating by achieving a rating of 75 or higher using the EPA Energy Target Finder tool.

E. T5: Building Design (Detached Garage and Outbuilding)

1	Number of Floors	1 to 2 floors
2	Maximum Height	24' maximum as measured from the average grade of the site along the rear facade of the building.



F. T5: Frontage Elements (Primary Building)¹

1	Entrance and Frontage	The primary entrance shall be located on the front facade. The entrance shall be located within a stoop, storefront, terrace/lightwell, gallery, or forecourt frontage
2	Windows	At least 50% of the surface area of ground floor front and external side facades with storefronts shall be occupied by windows. At least 20% of the surface area of all other front and external side facades shall be occupied by windows.

G. T5: Allowed Encroachments into Setbacks (Primary Building)

1	Porch	Porches may encroach into front and external side setbacks by 6'.
2	Stoops	Stoops may encroach into front and external side setbacks by 6'.
3	Balconies	Balconies may project into front and external side setbacks by 6'. Balconies may project over public sidewalks if at least 12' of vertical clearance is provided between the lowest point of the balcony and the sidewalk.
4	Bay Windows	Bay windows may project into all front and external side setbacks by 3'. Bay windows may project over public sidewalks if at least 12' of vertical clearance is provided between the lowest point of the bay window and the sidewalk.
5	Window Shades	Window shades (horizontal and vertical) may project into all setbacks by 3'. Window shades may project over public sidewalks if at least 8' of vertical clearance is provided between the lowest point of the window shade and the sidewalk.
6	Roofs	Roofs may project into all setbacks by 3'.
7	Chimneys	Chimneys may project into rear, internal side, and external side setbacks by 2'. Chimneys are prohibited on the front facade.
8	Storefront Awnings	Storefront awnings may project into front and external side setbacks by up to 6'. Awnings may project over public sidewalks if at least 8' of vertical clearance is provided between the lowest point of the awning and the sidewalk.
9	Galleries	Galleries may project into front and external side setbacks. Galleries may project over public sidewalks with the approval of the Director if at least 12' of vertical clearance is provided between the lowest point of the gallery and the sidewalk and the outside edges of the posts or columns of the gallery are at least 2' from the curb face.

Notes

¹ Standards for private frontages are provided in Section 7.2.C

H. T5 Yards

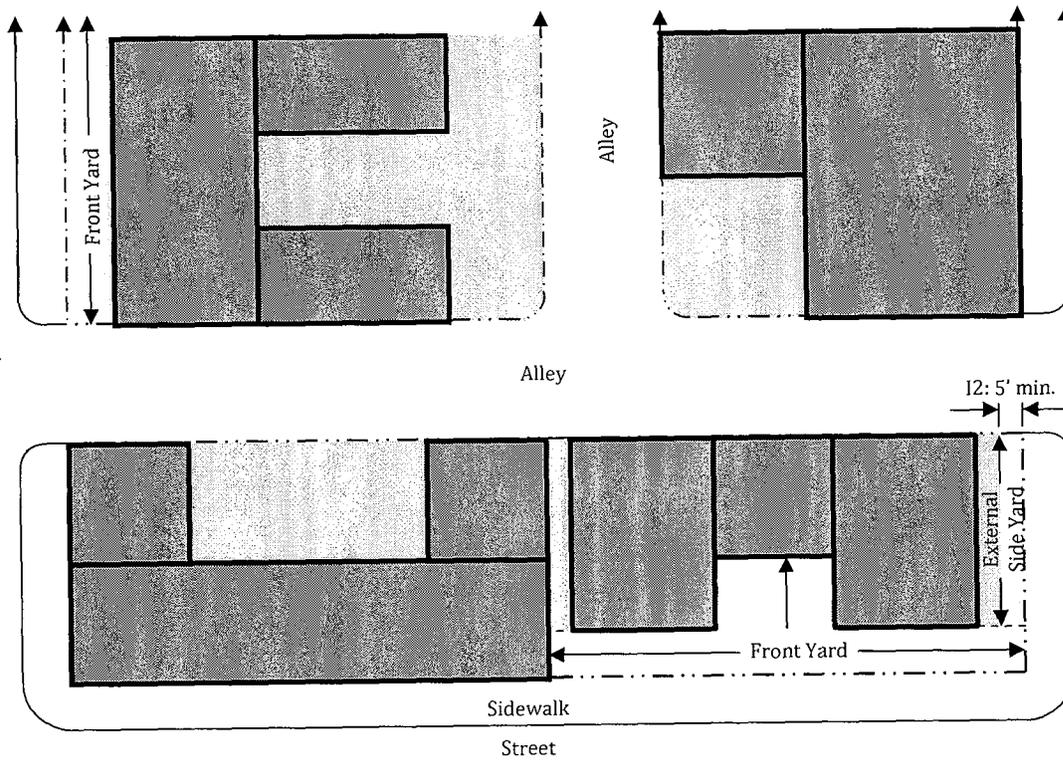
1	Landscaping Options	Yards shall be landscaped. With the exception of driveways, walkways, and patio space (only allowed in yards adjacent to commercial uses), paved surfaces are prohibited in front and external side yards.
2	Landscaping Requirements	Landscaping shall be provided in accordance with Chapter 21A.16 of the Zoning Code, excluding Section 21A.16.070.
3	Wildlife Habitat	Not applicable
4	Stormwater Management	All properties shall be designed with stormwater management facilities in compliance with the King County Surface Water Design Manual.
5	Production	Vegetable gardens, community gardens, and green roofs are encouraged.
6	Yard or Outdoor Lighting	<p>Ensure that any outdoor lighting minimizes light pollution, in order to reduce development impact on nocturnal environments and wildlife, and increase night sky visibility for people. Minimize light trespass from the site by using only lighting fixtures that are fully shielded with cutoff devices, such that all light is directed downward. Exterior light fixtures with very low light levels, such as solar powered lights, are exempt from this.</p> <p>For non-residential uses, the T5 zone should have a lighting curfew of 12:00 am or close of business, whichever is later, is recommended.</p>

I. T5: Fences, Walls, and Hedges (excluding retaining walls)

1	Front Yard Fences	Fences, walls, and hedges within the front yard shall be limited to a height of 40".
2	External Side Yard Fences	Fences, walls, and hedges that are within 5' of the external side property line shall be limited to a height of 40". If the fence, wall, or hedge is setback at least 5' from the external side property line, the maximum height shall be limited to a height of 72".
3	Internal Side Yards and Rear Yard Fences	Fences, walls, or hedges within rear and internal side yards shall be limited to a height of 72".

J. T5: Garbage, Recycle, and Compost Storage

1	Allowed Locations	Garbage, recycle, and compost receptacles shall be stored within a garage, an outbuilding, or a rear or side yard that is enclosed by a wall or fence that is at least 60" tall.
---	-------------------	--



I1: Walls, fences, and hedges with a maximum height of 40" are allowed.

I2 and I3: Walls, fences, and hedges with a maximum height of 72" are allowed.

K. T5: Building and Property Uses

1	Residential	<p>The following uses are allowed by right:</p> <ul style="list-style-type: none"> • Single Family (attached): One Primary Unit and one optional Accessory Unit per lot • Multifamily Residential Units. If more than 10 units are provided, at least 10% of the units shall be classified as affordable (see Article 8: Definitions). • One Accessory Unit per Lot • Home Occupation (per the requirements of Section 21A.30 of the Zoning Code) • Dormitory • Senior Citizen Assisted Housing <p>The following uses are permitted with a conditional use permit:</p> <ul style="list-style-type: none"> • Home Industry (per the requirements of Section 21A.30 of the Zoning Code) • Community Residential Facility I • Community Residential Facility II • Bed and Breakfast (5 rooms maximum) • Hotel/Motel
2	Recreational/Cultural	<p>The following uses are permitted by right:</p> <ul style="list-style-type: none"> • Sports Club/Fitness Center • Library • Museum • Arboretum • Bowling Center • Amusement/Recreation Services/Arcades (Indoor)
3	General Services	<p>The following uses are allowed by right:</p> <ul style="list-style-type: none"> • General Personal Services • Funeral Home • Appliance/Equipment Repair • Medical or Dental Office/Outpatient Clinic • Medical or Dental Lab • Day Care I • Day Care II • Veterinary Clinic • Social Services • Animal Specialty Services • Artist Studios • Nursing and Personal Care Facilities <p>The following uses are permitted with a conditional use permit:</p> <ul style="list-style-type: none"> • Kennel • Theater (Movie or Live Performance) • Religious Use

K. T5: Building and Property Uses (Continued)

4	Government/Business Services	<p>The following uses are allowed by right:</p> <ul style="list-style-type: none"> • General Business Service • Professional Office <p>The following uses are permitted with a conditional use permit:</p> <ul style="list-style-type: none"> • Public Agency or Utility Office • Police Substation • Fire Station • Utility Facility • Self Service Storage
5	Retail/Wholesale	<p>The following uses are allowed by right on the ground floor of buildings:</p> <ul style="list-style-type: none"> • Food Store • Drug Store/Pharmacy • Retail Store: includes florist, book store, apparel and accessories store, hardware/building supply store less than 15,000 sq. ft., department store less than 15,000 sq. ft., furniture/home furnishings store, antique/recycled goods store, sporting goods store, video store, art supply store, hobby store, jewelry store, toy store, game store, photo store, electronic/appliance store, fabric shops, pet shops, and other retail stores (excluding adult-only retail) • Eating and Drinking Places <p>The following uses are permitted with a conditional use permit:</p> <ul style="list-style-type: none"> • Liquor Store or Retail Store Selling Alcohol • Hardware/Building Supply Store 15,000 sq. ft. or greater • Nursery/Garden Center • Department Store 15,000 sq. ft. or greater • Auto Dealers
6	Manufacturing	<p>Manufacturing uses (excluding Home Industry Uses permitted per the requirements of Section 21A.30 of the Zoning Code) are prohibited.</p>
7	Resource	<p>The following uses are allowed by right:</p> <ul style="list-style-type: none"> • Solar photovoltaic/solar thermal energy systems • Private stormwater management facilities • Growing and Harvesting Crops (within rear/internal side yards or roof gardens, and with organic methods only) • Raising Livestock and Small Animals (per the requirements of Section 21A.30 of the Zoning Code) <p>The following uses are permitted with a special use permit:</p> <ul style="list-style-type: none"> • Wind Turbines
8	Regional	<p>The following uses are permitted with a special use permit:</p> <ul style="list-style-type: none"> • Communication Facility

L. T5: On-Site Parking Requirements (Minimum)¹

1	Residential	Residential Units: 1.5 spaces per Unit Accessory Unit: 1 space per Unit Bed and Breakfast/Hotel/Motel/: 1 space per rented and owner-occupied bedroom Dormitory: 1 per 2 bedrooms Senior Citizen Assisted Housing: 1 per two residents Community Residential Facility I: 1 per two residents Community Residential Facility II: 1 per two residents
2	Recreational/Cultural	As required by the Director
3	General Services	1 space per 300 square feet
4	Government/Business Services	1 space per 300 square feet of office, plus 0.9 spaces per 1,000 square feet of indoor storage
5	Retail/Wholesale	1 space per 300 square feet
6	Manufacturing	Not applicable
7	Resource	As required by the Director
8	Regional	As required by the Director

M. T5: Parking Lot Landscaping

1	Trees	1 tree shall be provided for every 4 parking spaces within the surface parking area. Trees may be located in planters or tree wells.
---	-------	--

Notes

- ¹ If the parking requirements result in a fraction, the number of parking spaces shall be rounded to the nearest whole number with fraction of 0.50 or greater rounding up and fractions below 0.50 rounding down.

N. T5: Shared Parking

- 1 Requirements The amount of parking may be reduced by an amount determined by the Director when shared parking facilities for two or more uses are proposed. Section 21A.18.040 of the Zoning Code shall regulate the process for determining the reduction in parking.

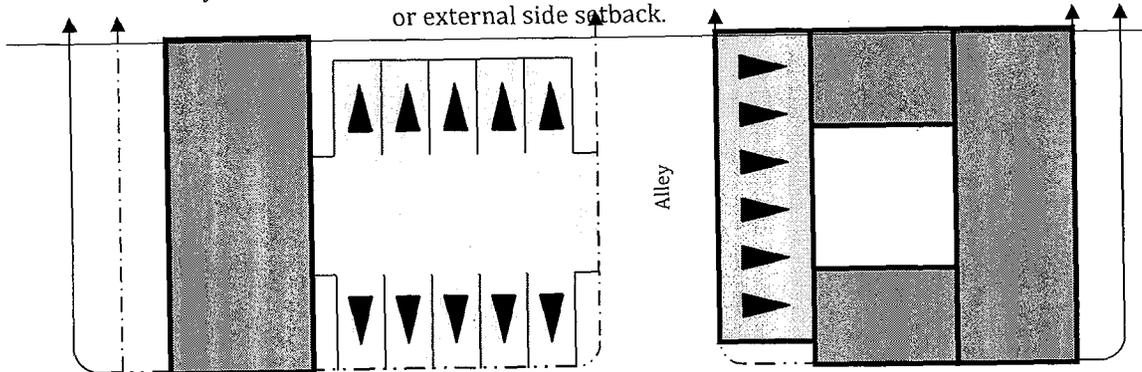
O. T5: Parking Options

- 1 Parking Options (refer to Section C for allowed parking locations) To reduce development costs, parking garages are not required. Parking may be provided within an attached garage, detached garage, parking structure, or surface parking lot. Parking for non-residential uses may also be provided off-site in a public parking lot or structure if a parking management district is formed for the area. Dedicated surface parking areas shall be partially screened from views from streets by a wall, fence, or hedge that is at least 40" tall.

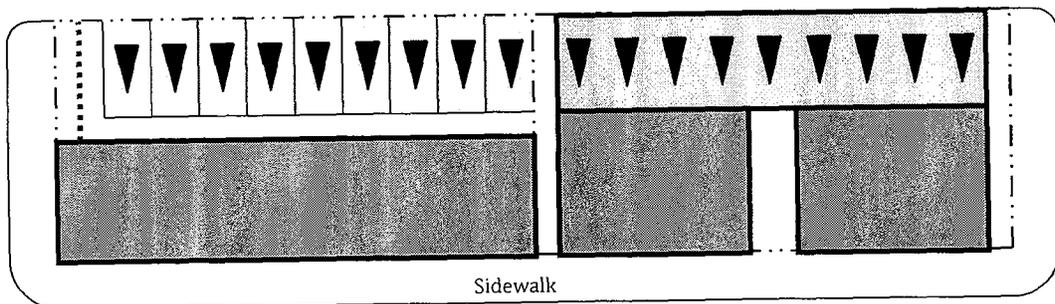
P. T5: Parking Access

- 1 Alleys Alleys are required for projects that create new blocks to provide access to parking areas and to minimize driveway curb cuts along streets. Alleys are encouraged (but not required) for projects on existing blocks to provide access to parking areas. Driveway access from the street is only allowed on lots where an alley cannot be provided.

- 2 Driveways Driveways shall not exceed a width of 20' within the front setback or external side setback.



Alley



Sidewalk
Street

Primary Building
 Detached/Attached Garage
 Surface Parking Area

Parking Space
 Fence or Landscaping Hedge (required to screen surface parking)

9. CIVIC STANDARDS

A. Introduction

Civic buildings are buildings operated by not-for-profit organizations (including governmental organizations) that are dedicated to arts, culture, education, recreation, government, transit, and or for use approved by the legislative body. The above uses with a religious foundation are not considered civic buildings.

B. Standards

The following standards apply to civic buildings:

1. Civic buildings should be architecturally distinctive, designed appropriately for their function, and designed with an outdoor gathering spaces
2. Civic buildings may be located within civic spaces.
3. Civic buildings shall not be subject to the standards of this article (Building Standards). The particulars of their design shall be determined by warrant and as required by the Director.
4. Within new communities, civic buildings shall be provided as necessary to serve the added population and as required by the Director.
5. Civic buildings shall be designed to earn the ENERGY STAR rating by achieving a rating of 75 or higher using the EPA Energy Target Finder tool.

10. HISTORIC BUILDING STANDARDS

A. Introduction

Historic buildings are structures that are listed on the National Register of Historic Places, the Washington State Heritage Register, and/or the Washington State Heritage Barn Register.

B. Standards

The following standards apply to historic buildings:

1. Uses for historic buildings and properties shall be determined by warrant.
2. Alterations and additions to historic buildings shall comply with the Secretary of the Interior's Standards for Rehabilitation.
3. Alterations and additions to historic buildings shall require environmental review in compliance with the State Environmental Policy Act (SEPA).

This page intentionally left blank.

STREET STANDARDS

1. INTRODUCTION

The following article provides standards for streets and roads allowed within each transect zone. These standards are designed to provide the desired character (i.e. urban or rural) and level or multi-modal travel desired. Graphics shown are meant to be representative and include some flexibility for design. Tables provided for each of the transect zones provide a range of options.

2. GENERAL STANDARDS (ALL TRANSECT ZONES)

A. General

1. All streets shall be intended for use by vehicular, pedestrian, and bicycle traffic. Streets may also be designed for equestrian traffic.
2. Streets shall generally consist of travel lanes (which may also include turn lanes, on-street parking, and median) and public frontages (edges of the street that are designed to accommodate pedestrians).
3. Streets shall be designed with the urban or rural form, vehicular speed, and level of multi-modal travel desired. Public frontages and the configuration of travel lanes, on-street parking, and turn lanes/medians may be adjusted as streets move from one transect zone to another and as needed to reflect the surrounding development.
4. In the T1, T2A, and T2B zones, pedestrian comfort may be a secondary consideration of street type and configuration. Design conflict between vehicular and pedestrian movement generally should be decided in favor of vehicular movement. In the T3, T4, and T5 zones, pedestrian comfort should be a primary consideration of street type and configuration on non-arterial roadways. Design conflict between vehicular and pedestrian movement generally should be decided in favor of pedestrian movement. Some areas also may favor bicycle movement over vehicular movement.
5. All streets shall terminate at other streets, forming a network. Internal streets and alleys shall connect wherever possible to those on adjacent sites. Cul-de-sacs and dead end streets shall only be granted by a warrant which should only be granted by the

Director if a street connection is not feasible due to specific site, topographic, and/or environmental conditions.

6. Streets may include travel lanes in a variety of widths permitted under the King County Road Design and Construction Standards ["Road Standards"] to provide a range of vehicular speeds and bicycle facilities, such as bike lanes and routes.
7. Street stubs are allowed if a property is developed and a street expansion is feasible on an adjacent property and if at least one connection is maintained to the existing street network. Such street stubs shall be constructed up to the property line so that the expansion may be complete when the adjacent property redevelops.

B. Public Frontages

1. The public frontage contributes to the character of the transect zone, and includes the type of walkway, edge and planter, and landscaping.
2. Each transect zone has one or more public frontages that may be used along the edges of the allowed streets.
3. T1/T2A/T2B/T3 (Option A): trees provided should be native species requiring minimal or no irrigation, fertilization, and maintenance. Tree species may vary throughout and the placement of trees may be more organic and naturalistic.
4. T3 (Option B)/T4/T5: trees provided shall consist of durable species that are tolerant to soil compaction. Native species are encouraged and trees selected should require minimal irrigation, fertilization, and maintenance.
5. T4/T5: trees selected shall clear the ground floor of adjacent buildings. In front of non-residential uses in the T5 zone, tree placement patterns may be altered to avoid blocking views to storefronts from travel lanes.

C. Street Tree Selection

1. Trees for swales, shoulders, parkways, sidewalks, and medians shall be selected from the list provided in Section 5.03 (Street Trees and Landscaping) of the King County Road Design and Construction Standards (2007 or most current version).

D. Bulbouts and Turning Radii

1. Bulbouts may be provided at intersections and mid-block crossings within the T4 and T5 zones. If provided, bulbouts shall be constructed of the same paving material as the adjacent sidewalk.
2. The effective design turning radius range within all transect zones is 10 to 20 feet. This range allows for vehicular speeds of 20 to 35 miles per hour (MPH). This radius range may be lowered by right to 5 feet in the T3, T4, and T5 transect zones on local access streets. This radius range may also be increased to 30 feet in the T1, T2A, and T2B

transect zones and by warrant in the T5 transect zone for streets with a desired vehicular speed of more than 35 MPH.

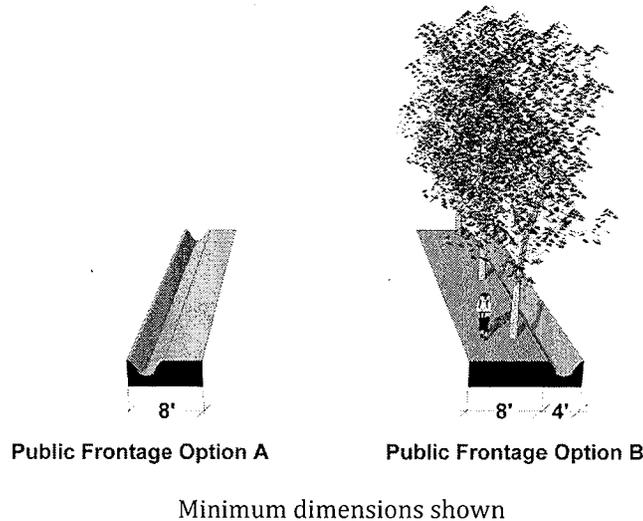
3. T1/T2A/T2B STREET STANDARDS

Streets within the T1, T2A, and T2B zones are designed to maintain a rural character and are designed with softer edges (swales and shoulders) instead of harder edges such as curbs and sidewalks. Trees may be planted at irregular patterns consistent with providing appropriate safety requirements (roadway clear zones) for all users. Streets within these transect zones make no provision for on-street parking and use shoulders and swales, instead of curbs and gutters, to manage stormwater runoff, however, in areas with highly-infiltrative soils, paved shoulders using pervious pavements may be considered on a case-by-case basis through the Road Variance process. Shoulders provided are designed with gravel/crushed surfacing where consistent with accessible [ADA] access requirements. Shoulders may also be used to accommodate emergency vehicle parking and to provide a route for pedestrians and bicyclists to use.

A. Public Frontage

Two options for public frontages are allowed in the T1, T2A, and T2B zones: Option A (Swale) and Option B (Swale with Shoulder). Streets may include the same public frontage option on both sides of the street or different public frontage options on either side. A swale is required within both of these options. An unpaved shoulder (constructed of crushed surfacing or other material as approved by the County Road Engineer) may be located between the swale and the paved travel lane (Option B). Swales and shoulders shall have a minimum width of 4 feet and 8 feet (respectively), and may be widened as needed or desired.

Trees shall be planted along shoulders in clusters or linearly at irregular or regular intervals with an average spacing of 1 tree for every 60 linear feet of roadway. Trees shall be planted at least ten (10) feet from the edge of the paved travel lane. Trees may be planted within swales that are at least 8 feet in width as long as the tree does not hinder drainage and are approved by Roads Maintenance. Additional landscaping may be provided in swales and near the edge of the swale and shoulder as long as the landscaping does not hinder drainage or visibility at intersections and driveway entrances. Such landscaping should include indigenous species to provide natural habitat and from the approved species list to minimize maintenance.

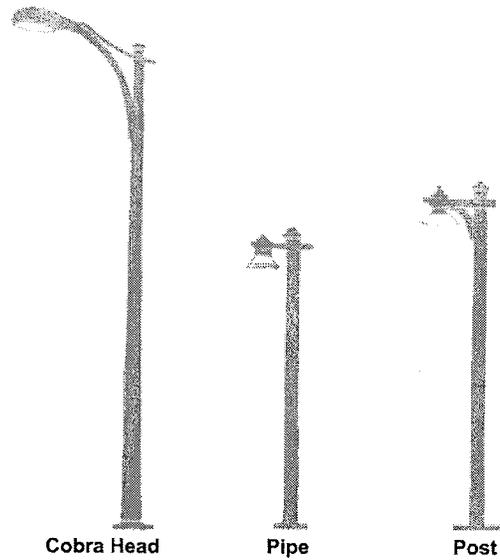


B. Pedestrian, Bicyclist, and Equestrian Accessibility

Pedestrians and equestrians may use the shoulder as a walkway and may use the one shoulder for walking in either direction. Bicyclists may also use the shoulder or they may use the travel lane, including the paved shoulder. The street sections below may be widened to accommodate bike lanes with a minimum width of five (5) feet. The shoulder also may be widened to provide more space for pedestrians and bicyclists. Crosswalks may be provided at or between intersections to provide more visible pedestrian street crossings, as approved by the County Traffic Engineer.

C. Illumination

Street illumination (provided by streetlights) is required for all roadways with more than two lanes of travel. Street illumination may be provided on other streets if desired or as needed or as required by the Director, subject to policies regarding funding of power and maintenance, by the Department of Transportation and the roadway illumination requirements of the King County Road Design and Construction Standards. Appropriate styles of streetlights used for illuminating roads in the T1, T2A, and T2B zones include Cobra Head, Pipe, and Post style streetlights. Steel poles shall be used for streetlights unless otherwise approved by the County Road Engineer. Streetlights shall be designed to minimize light pollution, in order to reduce development impact on nocturnal environments and wildlife, and to increase night sky visibility for people. Minimize light trespass from the site by using only lighting fixtures that are fully shielded with cutoff devices, such that all light is directed downward.



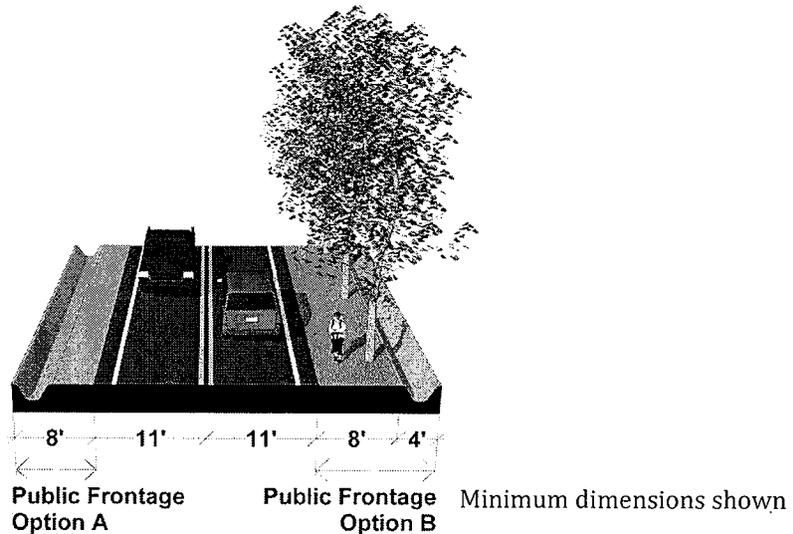
D. Street Sections

The following street sections are allowed in T1, T2A, and T2B:

- Two Lane Road
- Two Lane Road with Center Turn Lane
- Four Lane Road
- Four Lane Road with Center Turn Lane

E. Two Lane Road (T1/T2A/T2B)

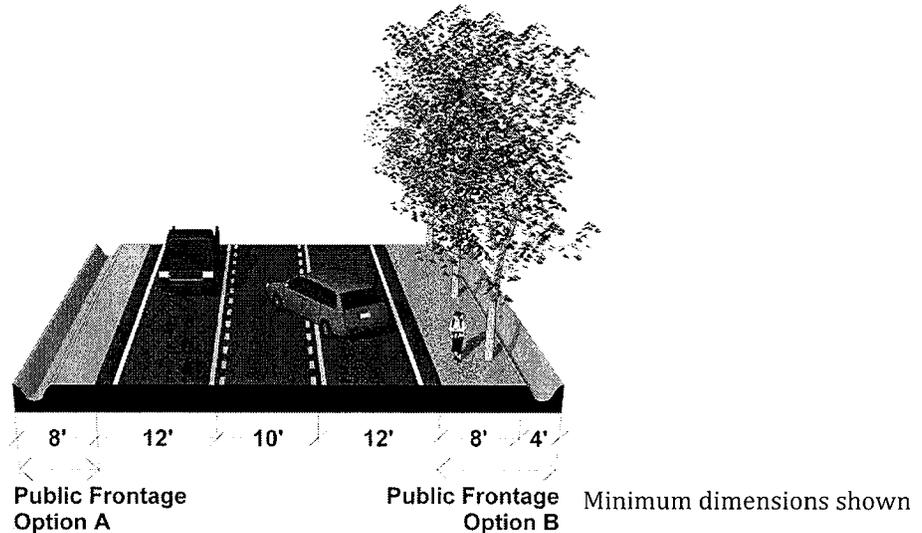
This street layout should be used on rural roads in segments that do not receive high volumes of traffic and where slower vehicular speeds are desired. These roads are well-suited for residential and agricultural areas where children may be present and where slower vehicles (i.e. tractors) may be traveling along the road.



E. Two Lane Road (T1/T2A/T2B)		
1	Right-of-Way Width	38' (Option A only), 42' (Option A/B), and 46' (Option B only) minimum
2	Pavement Width	22' minimum and 28' maximum
3	Design Speed	20-25 MPH (slow movement)
4	Number of Lanes	1 travel lane in each direction (2 travel lanes total)
5	Travel Lane Width	11' minimum and 14' maximum
	Paved Shoulder	1. None of the travel lane width shall be used as a paved shoulder
6	Center Turn Lane	None, except as needed for safety
7	On-Street Parking	None
8	Public Frontage Width	8' (swale) and 4'/8' (swale/shoulder) minimum
9	Walkway Type	Shoulder (Option B)
10	Bikeway Type	If provided: bike route, bike lane, and/or shoulder (Option B)
11	Edge / Planter Type	Continuous swale and/or shoulder
12	Landscape Type	Shoulder: trees clustered/regularly spaced at least 10' from travel lanes Swale: trees and other landscaping in/around swale (if provided)
13	Additional Modifications	None (other than variations listed above)

F. Two Lane Road with Center Turn Lane (T1/T2A/T2B)

This street layout is similar to the “Two Lane Road” and should be used on rural roads in segments that do not receive high volumes of traffic and where slower vehicular speeds are desired. However, this street layout includes a center left turn lane that can increase traffic flow and allows transition room for vehicles turn onto or from the road. The added width also increases distances pedestrians and bicyclists must travel to cross the road. The center turn lane may be also designed as a dedicated left turn lane in one direction of travel.

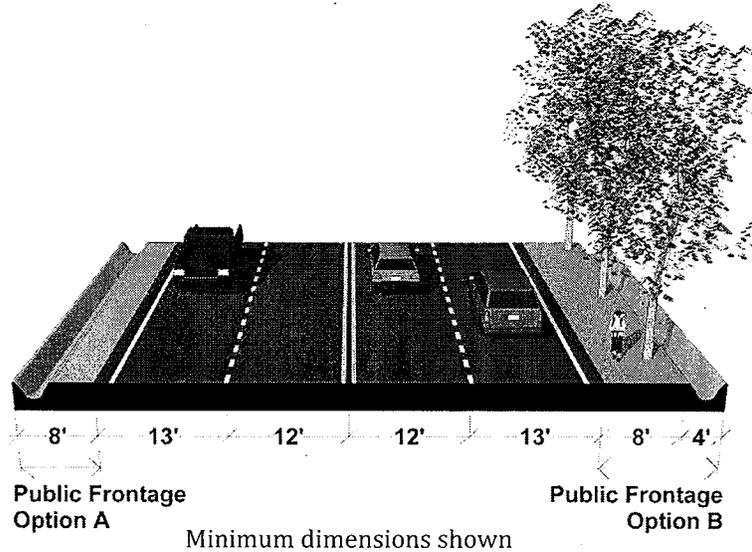


F. Two Lane Road with Center Turn Lane (T1/T2A/T2B)

1	Right-of-Way Width	50' (Option A only), 54' (Option A/B), and 58' (Option B only) minimum
2	Pavement Width	34' minimum and 38' maximum
3	Design Speed	25-30 MPH (slow-to-moderate movement)
4	Number of Lanes	1 travel lane in each direction (2 travel lanes total) and 1 center turn lane
5	Travel Lane Width	12' minimum and 14' maximum
	Paved Shoulder	1.5' minimum of the travel lane width shall be used as a paved shoulder
6	Center Turn Lane	11' minimum
7	On-Street Parking	None
8	Public Frontage Width	8' (swale) and 4'/8' (swale/shoulder) minimum
9	Walkway Type	Shoulder (Option B)
10	Bikeway Type	If provided: bike route, bike lane, and/or shoulder (Option B)
11	Edge / Planter Type	Continuous swale and/or shoulder
12	Landscape Type	Shoulder: trees clustered/regularly spaced at least 10' from travel lanes Swale: trees and other landscaping in/around swale (if provided and approved by DOT)
13	Additional Modifications	Center turn lane used as dedicated left turn lane (one direction) at intersections

G. Four Lane Road (T1/T2A/T2B)

This street layout is similar to the “Two Lane Road” and should be used on rural roads in segments that receive moderate-to-high volumes of traffic and where moderate vehicular speeds are desired. The additional lane in each direction allows for more free movement of traffic; however, the added width also increases distances pedestrians and bicyclists must travel to cross the road.



G. Four Lane Road (T1/T2A/T2B)		
1	Right-of-Way Width	66' (Option A only), 70' (Option A/B), and 74' (Option B only) minimum
2	Pavement Width	50' minimum and 56' maximum
3	Design Speed	35+ MPH (high movement)
4	Number of Lanes	2 travel lanes in each direction (4 travel lanes total)
5	Travel Lane Width	12' (inner lane) / 13' (outer lane) minimum and 14' maximum (all lanes)
	Paved Shoulder	1. None of the travel lane width shall be used as a paved shoulder
6	Center Turn Lane	None
7	On-Street Parking	None
8	Public Frontage Width	4' (swale) and 4'/8' (swale/shoulder) minimum
9	Walkway Type	Shoulder (Option B)
10	Bikeway Type	If provided: bike route, bike lane, and/or shoulder (Option B)
11	Edge / Planter Type	Continuous swale and/or shoulder
12	Landscape Type	Shoulder: trees clustered/regularly spaced at least 10' from travel lanes Swale: trees and other landscaping in/around swale (if provided and approved by DOT)
13	Additional Modifications	Center left turn lanes provided at major intersections

**ADD FOUR-LANE ROAD WITH CENTER TURN LANE
TO ADDRESS ARTERIALS (INCL. URBAN CONNECTORS) IN RURAL AREA**

4. T2C/T3 STREET STANDARDS

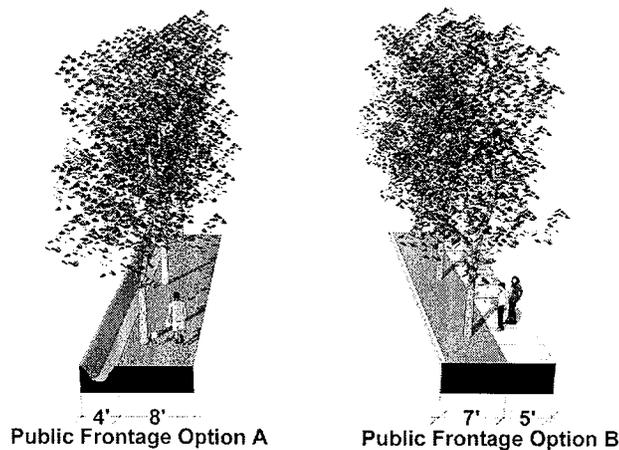
Streets within the T2C and T3 zones are designed to reflect a rural character and transition into an urban environment. Depending on the desired character, streets may be designed with softer edges, such as swales and shoulders, or with harder edges, such as curbs and sidewalks.

Landscaping provided is generally more organized than on rural streets, but may still reflect a more irregular planting pattern. Unlike the streets in the T1, T2A, and T2B zones, streets within the T2C and T3 zones generally include on-street parking and may either use swales and shoulders or curbs and gutters to manage stormwater runoff. Shoulders provided are designed with decomposed granite, or other comparable material and may also be used to accommodate emergency vehicle parking and provide a route for pedestrians and bicyclists to use.

A. Public Frontage

Two options for public frontages are allowed in the T2C and T3 zones: Option A (Swale with Shoulder) and Option B (Parkway with Sidewalk). The same frontage option should be provided on both sides of the street. Option A requires a swale and an unpaved shoulder (constructed of crushed surfacing or other comparable material) that is located between the swale and the paved travel lane. Swales and shoulders shall have a minimum width of 4 feet and 8 feet (respectively), and may be widened as needed or desired. The additional width on shoulders shall not be used as a travel lane. Option B requires a curb with a landscaped parkway and sidewalk. Parkway and sidewalks shall be a minimum of 7 feet and 5 feet (respectively), and may be widened as needed or desired. The widths of parkways and sidewalks may differ from one side of the street to the other.

Trees may be planted along shoulders in clusters or linearly at irregular or regular intervals with an average spacing of 1 tree for every 40 linear feet of roadway, or may be planted within the parkway at an average spacing of 1 tree for every 30 linear feet of roadway. Trees shall be planted at least ten (10) feet from the edge of the travel lane if planted along a shoulder. Trees may be planted within swales that are at least 8 feet in width as long as the tree does not hinder drainage and represent no additional maintenance requirements. Additional landscaping may be provided in swales, near the edge of the swale and shoulder, and within parkways as long as the landscaping does not hinder drainage or visibility at intersections and driveway entrances. Landscaping should include indigenous species to provide natural habitat and to minimize maintenance, but shall be from an approved list that includes species that represent a low potential for pavement/walkway damage from roots.



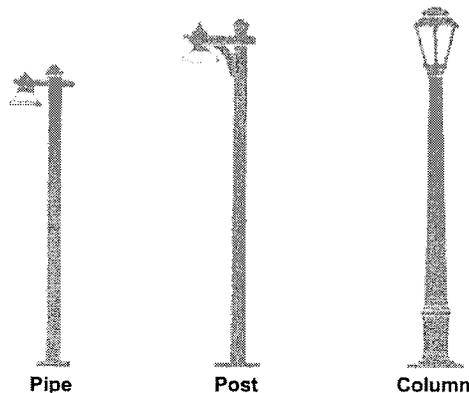
Minimum dimensions shown

B. Pedestrian, Bicyclist, and Equestrian Accessibility

Pedestrians may use the shoulder in Option A as if it were a sidewalk or the sidewalk in Option B. Bicyclists and equestrians may also use the shoulder in Option A. Bicyclists also may ride in the travel lane. Streets in Option B are not designed for equestrians. The street sections below may be widened to accommodate bike lanes with a minimum width of five (5) feet. The shoulder (Option A) may be widened to provide more space for pedestrians and bicyclists. The sidewalks (Option B) may be widened to provide more space for pedestrians. Crosswalks may be provided at or between intersections to provide more visible pedestrian street crossings.

C. Illumination

Street illumination (provided by streetlights) is required for all roadways with more than two lanes of travel. Street illumination may be provided on other streets as needed or as required by the County Road Engineer, subject to policies regarding funding of power and maintenance and the illumination requirements of the King County Road Design and Construction Standards. Appropriate styles of streetlights used for illuminating streets/roads in the T2C and T3 zones include Pipe, Post, and Column-style streetlights. Steel poles shall be used for streetlights unless otherwise approved by the County Road Engineer. Streetlights shall be designed to minimize light pollution, in order to reduce development impact on nocturnal environments and wildlife, and to increase night sky visibility for people. Minimize light trespass from the site by using only lighting fixtures that are fully shielded with cutoff devices, such that all light is directed downward.



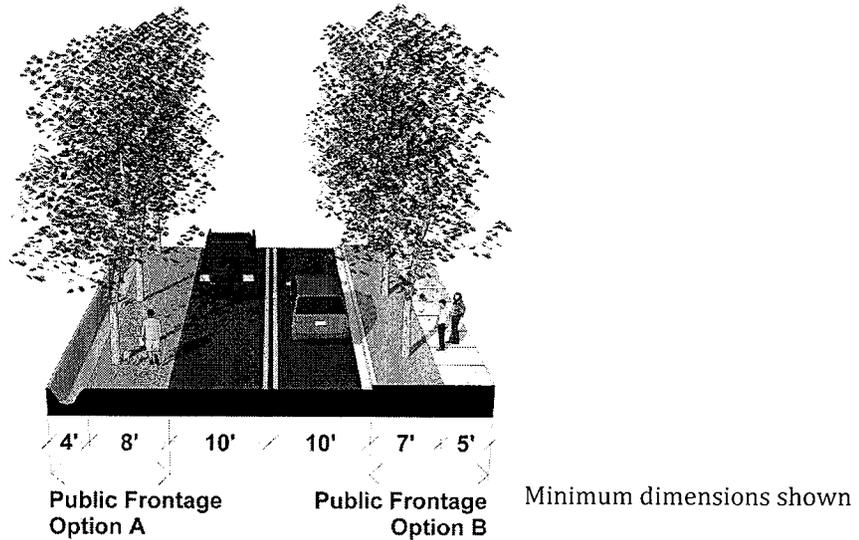
D. Street Sections

The following street sections are allowed in the T2C and T3 zones:

- Two Lane Road/Street
- Two Lane Road/Street with Parallel Parking on One Side
- Two Lane Road/Street with Parallel Parking
- Two Lane Road/Street with Parallel Parking and Center Turn Lane

E. Two Lane Road/Street (T2C/T3)

This street layout should be used on roads in segments that do not receive high volumes of traffic and where slower vehicular speeds are desired. These roads are well-suited for residential areas where children may be present.

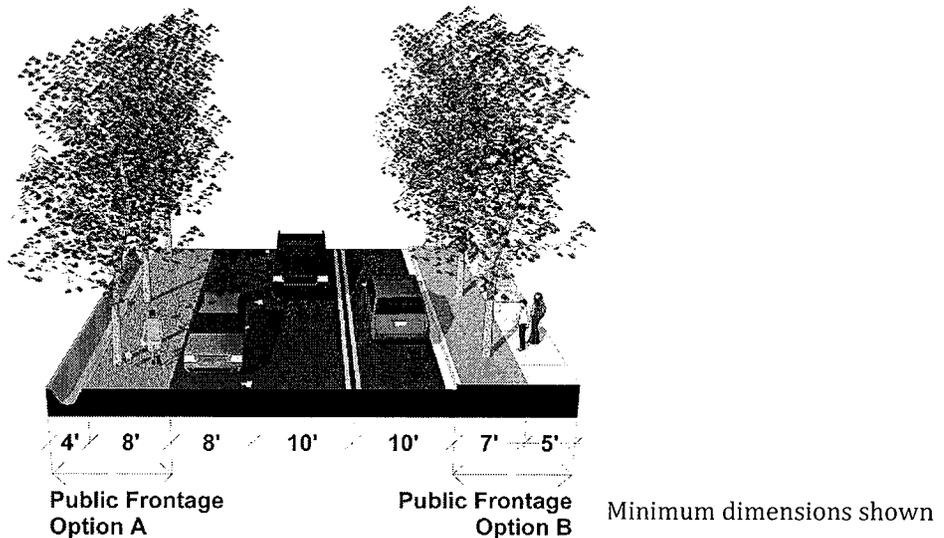


E. Two Lane Road/Street (T2C/T3)

1	Right-of-Way Width	44' minimum
2	Pavement Width	22' minimum and 24' maximum
3	Design Speed	20-25 MPH (slow movement)
4	Number of Lanes	1 travel lane in each direction (2 travel lanes total)
5	Travel Lane Width	11' minimum and 12' maximum
6	Center Turn Lane	None
7	Parking Type	None
8	Public Frontage Width	4'/8' (swale/shoulder) and 7'/5' (parkway/sidewalk) minimum
9	Walkway Type	Shoulder (Option A) and/or sidewalk (Option B)
10	Bikeway Type	If provided: bike route, bike lane, and/or shoulder (Option A)
11	Edge / Planter Type	Continuous swale/shoulder (Option A) and/or sidewalk/parkway (Option B)
12	Landscape Type	Shoulder (Option A): trees clustered/regularly spaced at least ten (10) feet from pavement Swale (Option A): trees and other landscaping in/around swale (if provided) Parkway (Option B): trees spaced an average of 30' on-center with groundcover
13	Additional Modifications	None (other than variations listed above)

F. Two Lane Road/Street with Parallel Parking on One Side (T2C/T3)

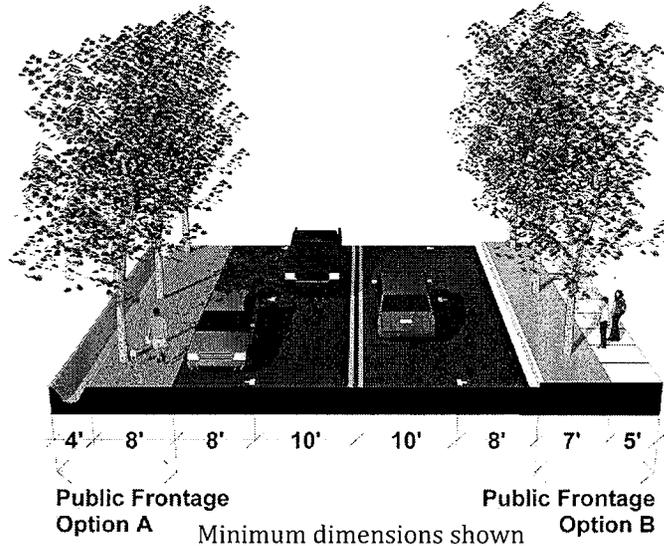
This street layout should be used on roads in segments that do not receive high volumes of traffic and where slower vehicular speeds are desired. These roads are well-suited for residential areas where children may be present and where only one side of the roadway has active building frontages, which would benefit from on-street parking. If active building frontages are provided on both sides of the street, a layout with parking on both sides should be considered (see the standards for Two Lane Road/Street with Parallel Parking).



F. Two Lane Road/Street with Parallel Parking on One Side (T2C/T3)		
1	Right-of-Way Width	52' minimum
2	Pavement Width	28' minimum and 32' maximum
3	Design Speed	20-25 MPH (slow movement)
4	Number of Lanes	1 travel lane in each direction (2 travel lanes total)
5	Travel Lane Width	11' minimum and 12' maximum
6	Center Turn Lane	None
7	On-Street Parking	Parallel parking (one side): 8'
8	Public Frontage Width	4'/8' (swale/shoulder) and 7'/5' (parkway/sidewalk) minimum
9	Walkway Type	Shoulder (Option A) and/or sidewalk (Option B)
10	Bikeway Type	If provided: bike route, bike lane, and/or shoulder (Option A)
11	Edge / Planter Type	Continuous swale/shoulder (Option A) and/or sidewalk/parkway (Option B)
12	Landscape Type	Shoulder (Option A): trees clustered/regularly spaced at least ten (10) feet from pavement Swale (Option A): trees and other landscaping in/around swale (if provided) Parkway (Option B): trees spaced an average of 30' on-center with groundcover
13	Additional Modifications	Parking may be provided on either side of the roadway

G. Two Lane Road/Street with Parallel Parking (T2C/T3)

This street layout should be used on roads in segments that do not receive high volumes of traffic and where slower vehicular speeds are desired. These roads are well-suited for residential areas where children may be present and where left turn movements onto and from the roadway will not greatly affect traffic. If there are busy areas with major left turn movements between intersections, a center turn lane should be considered (see the standards for Two Lane Road/Street with Parallel Parking and Center Turn Lane).

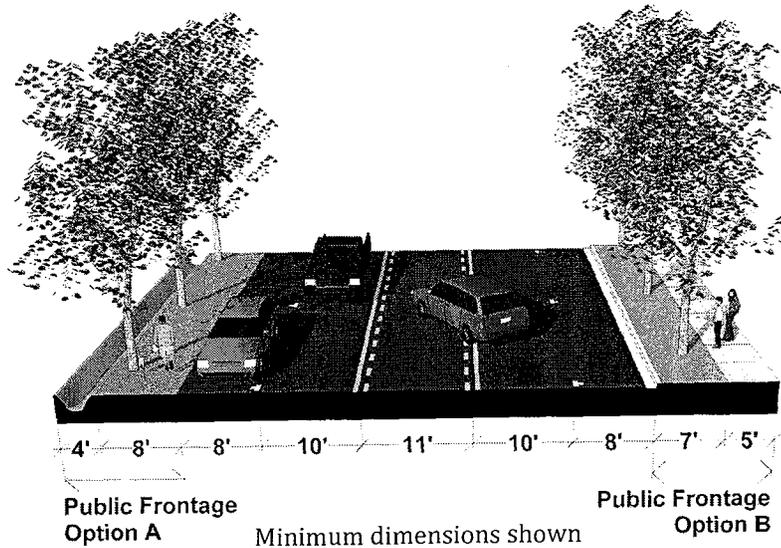


G. Two Lane Road/Street with Parallel Parking (T2C/T3)

1	Right-of-Way Width	60' minimum
2	Pavement Width	36' minimum and 40' maximum
3	Design Speed	20-25 MPH (slow movement)
4	Number of Lanes	1 travel lane in each direction (2 travel lanes total)
5	Travel Lane Width	11' minimum and 12' maximum
6	Center Turn Lane	None
7	On-Street Parking	Parallel parking: 8'
8	Public Frontage Width	4'/8' (swale/shoulder) and 7'/5' (parkway/sidewalk) minimum
9	Walkway Type	Shoulder (Option A) and/or sidewalk (Option B)
10	Bikeway Type	If provided: bike route, bike lane, and/or shoulder (Option A)
11	Edge / Planter Type	Continuous swale/shoulder (Option A) and/or sidewalk/parkway (Option B)
12	Landscape Type	Shoulder (Option A): trees clustered/regularly spaced at least ten (10) feet from the travel lanes Swale (Option A): trees and other landscaping in/around swale (if provided) Parkway (Option B): trees spaced an average of 30' on-center with groundcover
13	Additional Modifications	None (other than variations listed above)

H. Two Lane Road/Street with Parallel Parking and Center Turn Lane (T2C/T3)

This street layout should be used on roads in segments that receive low-to-moderate volumes of traffic and where slow-to-moderate vehicular speeds are desired. These roads are generally not appropriate for residential areas where children may be present, but are well-suited in areas with major left turn movements between intersections. The center turn lane will accommodate turning movements with minimal impact to through traffic.



H. Two Lane Road/Street with Center Turn Lane and Parallel Parking (T2C/T3)

1	Right-of-Way Width	71' minimum
2	Pavement Width	47' minimum and 52' maximum
3	Design Speed	25-30 MPH (slow-to-moderate movement)
4	Number of Lanes	1 travel lane in each direction (2 travel lanes total)
5	Travel Lane Width	11' minimum and 12' maximum
6	Center Turn Lane	11' minimum and 12' maximum
7	On-Street Parking	Parallel parking: 8'
8	Public Frontage Width	4'/8' (swale/shoulder) and 7'/5' (parkway/sidewalk) minimum
9	Walkway Type	Shoulder (Option A) and/or sidewalk (Option B)
10	Bikeway Type	If provided: bike route, bike lane, and/or shoulder (Option A)
11	Edge / Planter Type	Continuous swale/shoulder (Option A) and/or sidewalk/parkway (Option B)
12	Landscape Type	Shoulder (Option A): trees clustered/regularly spaced at least ten (10) feet from pavement Swale (Option A): trees and other landscaping in/around swale (if provided) Parkway (Option B): trees spaced an average of 30' on-center with groundcover
13	Additional Modifications	Center turn lane used as dedicated left turn lane (one direction) at intersections

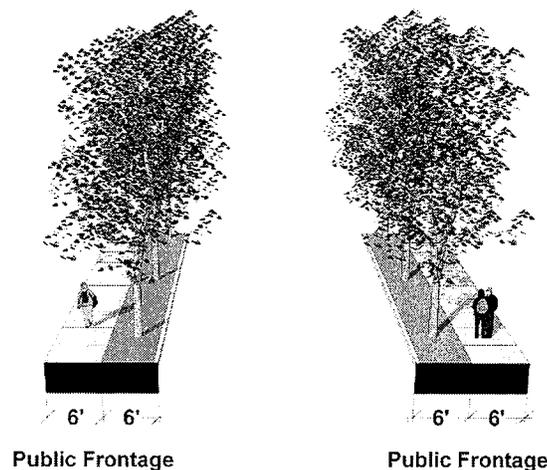
5. T4 STREET STANDARDS

Streets within T4 are designed to reflect a more urban character than streets in T1 through T3, and transition into to an urban environment. These streets shall be designed with hard edges, unlike more rural streets with softer edges, such as shoulders. Landscaping provided is organized and generally consistent throughout, with regular tree spacing. Unlike the streets in T1, T2A, and T2B, streets within T4 include on-street parking and use curbs, gutters, and parkways to manage stormwater runoff.

A. Public Frontage

Unlike other transect zones, only one public frontage is allowed in T4: Parkway with Sidewalk. Streets shall include the same public frontage on both sides of the street. The allowed public frontage requires a curb with a landscaped parkway and sidewalk. Parkway and sidewalks shall be a minimum of 6 feet each, and may be widened as needed or desired. The widths of parkways and sidewalks may differ from one side of the street to the other.

Trees shall be planted linearly at regular intervals with an average spacing of 1 tree for every 30 linear feet of roadway. Additional landscaping may be provided within parkways as long as the landscaping does not hinder visibility at intersections and driveway entrances. Landscaping should include indigenous species to provide natural habitat and to minimize maintenance from an approved list of species to minimize potential damage to pavement and sidewalks from root systems.



Minimum dimensions shown

B. Pedestrian, Bicyclist, and Equestrian Accessibility

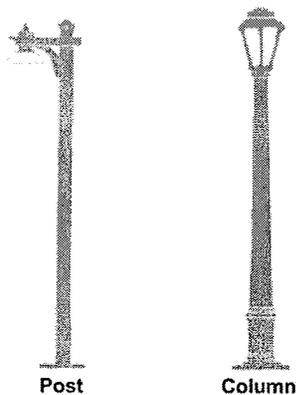
Pedestrians shall use the sidewalk. Bicyclists may ride in the travel lane, as if they were a motorist. These streets are not designed for equestrians. The street sections below may be widened to accommodate bike lanes with a minimum width of five feet. The sidewalks may be widened to provide more space for pedestrians. Marked crosswalks may be considered to provide more visible pedestrian street crossings.

C. One Way Streets

All two lane streets allowed in T4 also may be designed as one way streets. One way streets should only be used in specific locations where this street layout is desired and where two or more parallel streets can provide access, creating a couplet where one street provides one direction of travel and the next street provides the opposite direction.

D. Illumination

Street illumination (provided by streetlights) is required for all roadways with more than two lanes of travel. Street illumination may be provided on other streets as needed or as required by the Director subject to funding guidelines for power and maintenance by the Department of Transportation. Appropriate styles of streetlights used for illuminating streets in the T4 zone include Post and Column style streetlights. Steel poles shall be used for streetlights unless otherwise approved by the County Road Engineer. Streetlights shall be designed to minimize light pollution, in order to reduce development impact on nocturnal environments and wildlife, and to increase night sky visibility for people. Minimize light trespass from the site by using only lighting fixtures that are fully shielded with cutoff devices, such that all light is directed downward.



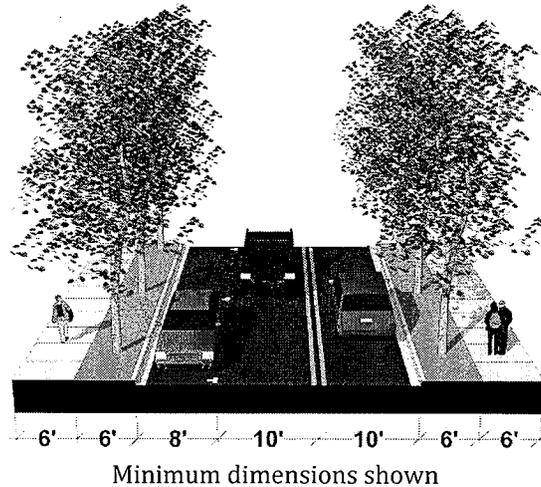
E. Street Sections

The following street sections are allowed in T4:

- Two Lane Street with Parallel Parking on One Side
- Two Lane Street with Parallel Parking
- Two Lane Street with Parallel Parking and Center Turn Lane
- Four Lane Street with Parallel Parking
- Four Lane Street with Parallel Parking and Center Turn Lane/Median

F. Two Lane Street with Parallel Parking on One Side (T4)

This street layout should be used on urban streets in segments that do not receive high volumes of traffic and where slower vehicular speeds are desired. These roads are well-suited for residential areas where children may be present and where only one side of the roadway has active building frontages, which would benefit from on-street parking. If active building frontages are provided on both sides of the street, a layout with parking on both sides should be considered (see the standards for Two Lane Street with Parallel Parking).

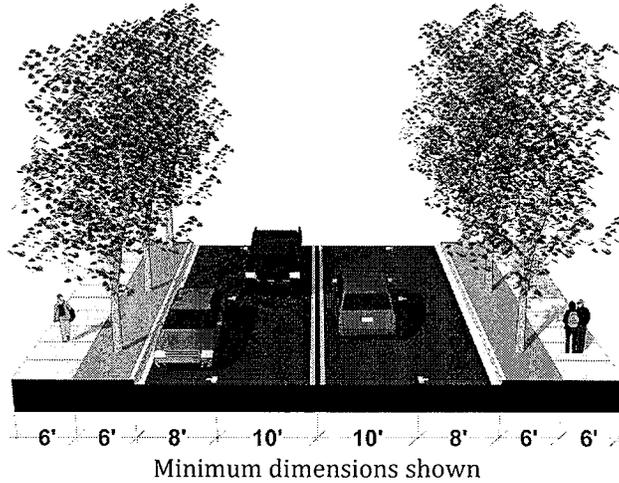


F. Two Lane Street with Parallel Parking on One Side (T4)

1	Right-of-Way Width	52' minimum
2	Pavement Width	28' minimum and 32' maximum
3	Design Speed	20-25 MPH (slow movement)
4	Number of Lanes	1 travel lane in each direction (2 travel lanes total)
5	Travel Lane Width	11' minimum and 12' maximum
6	Center Turn Lane	None
7	On-Street Parking	Parallel parking (one side): 8'
8	Public Frontage Width	6'/6' (parkway/sidewalk) minimum
9	Walkway Type	Sidewalk
10	Bikeway Type	If provided: bike route and bike lane
11	Edge / Planter Type	Sidewalk/parkway
12	Landscape Type	Parkway: trees spaced an average of 30' on-center with groundcover
13	Additional Modifications	Parking may be provided on either side of the roadway

G. Two Lane Street with Parallel Parking (T4)

This street layout should be used on urban streets in segments that do not receive high volumes of traffic and where slow-to-moderate vehicular speeds are desired. These roads may be well-suited for residential areas where children may be present and where left turn movements onto and from the roadway will not greatly affect traffic. This street layout provides a good balance between accommodating vehicular movement and pedestrian crossings. If there are busy areas with major left turn movements between intersections, a layout with a center turn lane should be considered (see the standards for Two Lane Street with Parallel Parking and Center Turn Lane).



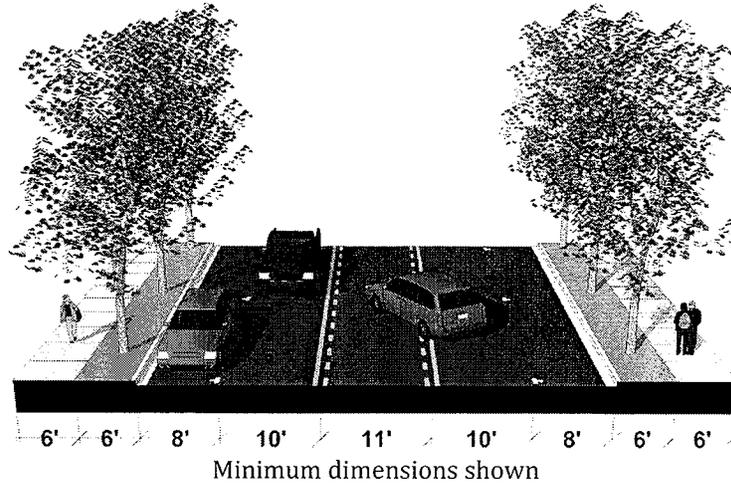
G. Two Lane Street with Parallel Parking (T4)

1	Right-of-Way Width	60' minimum
2	Pavement Width	36' minimum and 40' maximum
3	Design Speed	20-30 MPH (slow or slow-to-moderate movement)
4	Number of Lanes	1 travel lane in each direction (2 travel lanes total)
5	Travel Lane Width	11' minimum and 12' maximum
6	Center Turn Lane	None
7	On-Street Parking	Parallel parking: 8'
8	Public Frontage Width	6'/6' (parkway/sidewalk) minimum
9	Walkway Type	Sidewalk
10	Bikeway	If provided: bike route and bike lane

	Type	
11	Edge / Planter Type	Sidewalk/parkway
12	Landscape Type	Parkway: trees spaced an average of 30' on-center with groundcover

I. Two Lane Street with Parallel Parking and Center Turn Lane (T4)

This street layout should be used on urban streets in segments that receive low-to-moderate volumes of traffic and where slow-to-moderate vehicular speeds are desired. These streets are generally not appropriate for residential areas where children may be present. These streets are well-suited in areas with major left turn movements between intersections. This street layout provides a good balance between accommodating vehicular movement and pedestrian crossings. The center turn lane will accommodate turning movements with minimal impact to through traffic.

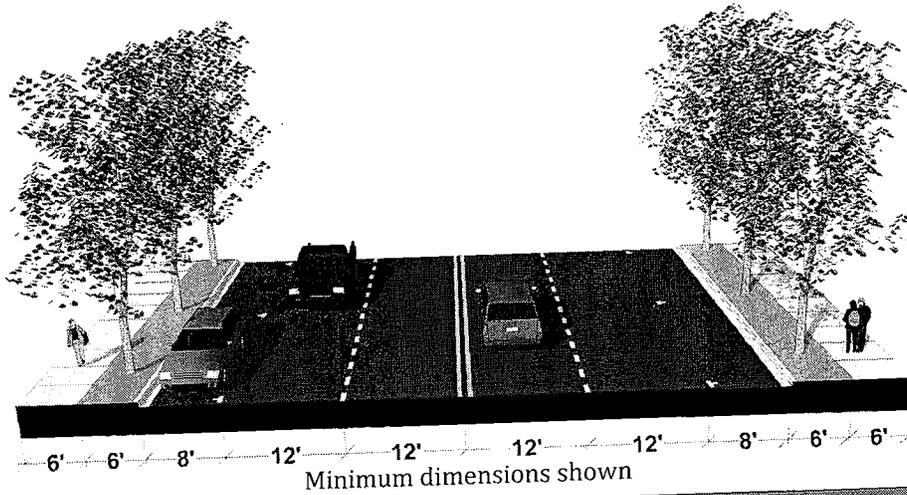


I. Two Lane Street with Parallel Parking and Center Turn Lane (T4)

1	Right-of-Way Width	71' minimum
2	Pavement Width	47' minimum and 52' maximum
3	Design Speed	25-30 MPH (slow-to-moderate movement)
4	Number of Lanes	1 travel lane in each direction (2 travel lanes total)
5	Travel Lane Width	10' minimum and 12' maximum
6	Center Turn Lane	11' minimum and 12' maximum
7	On-Street Parking	Parallel parking: 8'
8	Public Frontage Width	6'/6' (parkway/sidewalk) minimum
9	Walkway Type	Sidewalk
10	Bikeway Type	If provided: bike route and bike lane
11	Edge / Planter Type	Sidewalk/parkway
12	Landscape Type	Parkway: trees spaced an average of 30' on-center with groundcover
13	Additional Modifications	Center turn lane used as dedicated left turn lane (one direction) at intersections

K. Four Lane Street with Parallel Parking (T4)

This street layout should be used on urban streets in segments that receive moderate-to-high volumes of traffic and where moderate vehicular speeds are desired. These streets are generally not appropriate for residential areas where children may be present, but are well-suited in busier areas with a significant amount of through traffic and where on-street parking is desired. This street layout provides a good balance between accommodating vehicular movement and providing on-street parking; however, the increased speeds and wider pavement width create environments that may be less comfortable for pedestrians and require longer crossings.



K. Four Lane Street with Parallel Parking (T4)

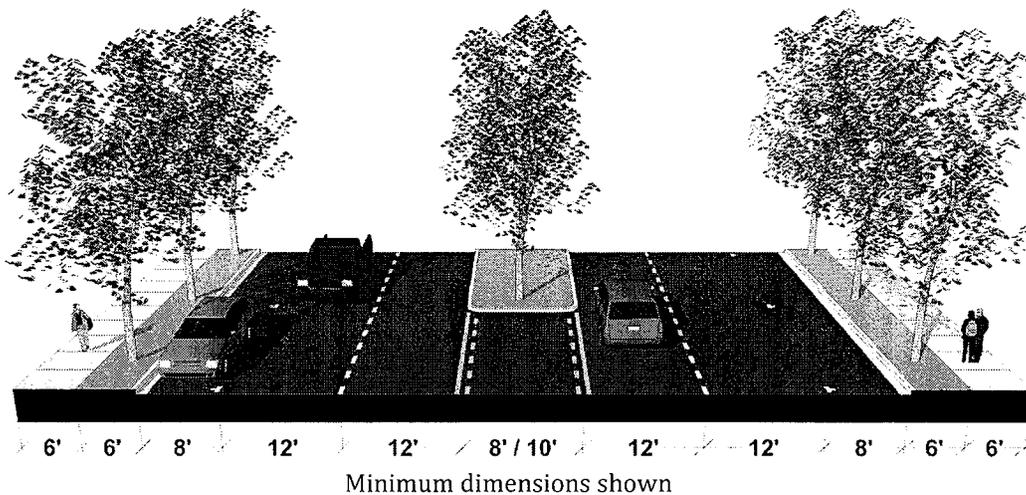
1	Right-of-Way Width	88' minimum
2	Pavement Width	64' minimum and 66' maximum
3	Design Speed	30-35+ MPH (moderate or high movement)
4	Number of Lanes	2 travel lanes in each direction (4 travel lanes total)
5	Travel Lane Width	12'
6	Center Turn Lane	None
7	On-Street Parking	Parallel parking: 8' minimum (if ≤ 35 MPH) and 9' maximum (if > 35 MPH)
8	Public Frontage Width	6'/6' (parkway/sidewalk) minimum
9	Walkway Type	Sidewalk
10	Bikeway	If provided: bike route and bike lane

Type	
11	Edge / Planter Type Sidewalk/parkway
12	Landscape Type Parkway: trees spaced an average of 30' on-center with groundcover

M. Four Lane Street with Parallel Parking and Center Turn Lane/Median (T4)

This street layout should be used on urban streets in segments that receive moderate-to-high volumes of traffic and where moderate vehicular speeds are desired. These streets are generally not appropriate for residential areas where children may be present. These streets are well-suited in busier areas with a significant amount of through traffic, major left turn movements between intersections, and on-street parking demand. This street layout provides a good balance between accommodating vehicular movement and on-street parking; however, increased speeds and increased width may create less comfortable environments for pedestrians and require longer crossings. Center turn lanes accommodate left turns with minimal impact to through traffic.

Minimum dimensions shown



M. Four Lane Street with Parallel Parking and Center Turn Lane/Median (T4)

1	Right-of-Way Width	90' minimum
2	Pavement Width	74' minimum and 78' maximum
3	Design Speed	35+ MPH (moderate movement)
4	Number of Lanes	2 travel lanes in each direction (4 travel lanes total)
5	Travel Lane Width	12'
6	Center Turn Lane	11' minimum and 12' maximum (8' minimum and no maximum if median)
7	On-Street Parking	Parallel parking; 8' minimum (if ≤35 MPH) and 9' maximum (if >35 MPH)
8	Public Frontage Width	6'/6' (parkway/sidewalk) minimum
9	Walkway Type	Sidewalk
10	Bikeway Type	If provided: bike route and bike lane
11	Edge / Planter Type	Sidewalk/parkway and median (if provided)
12	Landscape Type	Parkway: trees spaced an average of 30' on-center with groundcover Median (if provided): trees spaced an average of 30' on-center with groundcover

13	Additional Modifications	Center turn lane used as dedicated left turn lane (one direction) at intersections or as median (which may also include dedicated left turn lanes at intersections)
----	--------------------------	---

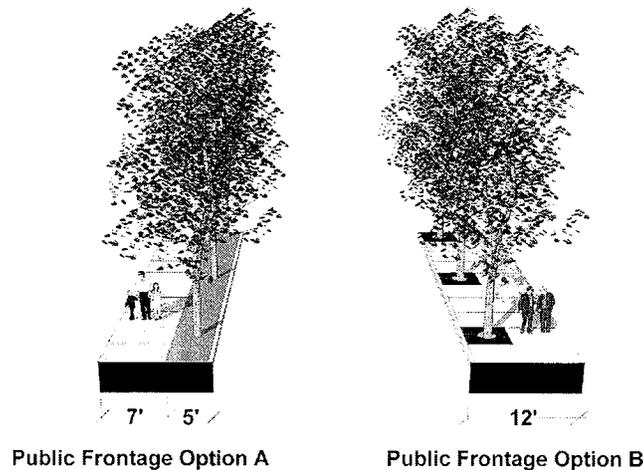
6. T5 STREET STANDARDS

Streets within T5 are designed to reflect an urban character. These streets shall be designed with hard edges, unlike more rural streets with softer edges, such as shoulders. Landscaping provided is organized and generally consistent throughout, with regular tree spacing. Unlike the streets in T1, T2A, and T2B, streets within T5 include on-street parking and use curbs, gutters, and parkways (if provided) to manage stormwater runoff.

A. Public Frontage

Two options for public frontages are allowed in T3: Option A (Parkway with Sidewalk) and Option B (Sidewalk). Streets may include the same public frontage option on both sides of the street or different public frontage options on either side. Option A requires a curb with a landscaped parkway and sidewalk. Parkway and sidewalk shall be a minimum of 5 feet and 7 feet (respectively), and may be widened as needed or desired. The widths of parkways and sidewalks may differ from one side of the street to the other. Option B requires a curb with a sidewalk and trees planted within tree wells.

Trees shall be planted linearly at regular intervals with an average spacing of 1 tree for every 30 linear feet of roadway. Additional landscaping may be provided within parkways and within pots along sidewalks as long as the landscaping does not hinder visibility at intersections and driveway entrances. Landscaping should include indigenous species to provide natural habitat and to minimize maintenance.



Minimum dimensions shown

B. Pedestrian, Bicyclist, and Equestrian Accessibility

Pedestrians shall use the sidewalk. Bicyclists may ride in the travel lane, as if they were a motorist. These streets are not designed for equestrians. The street sections below may be

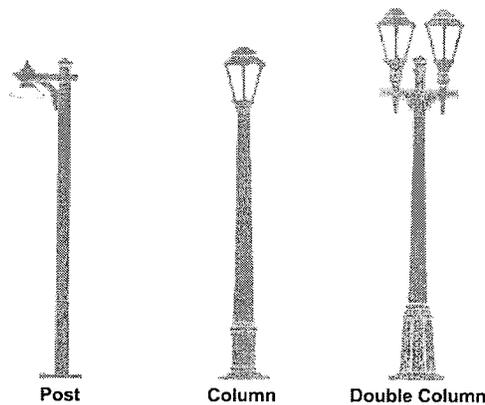
widened to accommodate bike lanes with a minimum width of 5 feet. The sidewalks may be widened to provide more space for pedestrians. Crosswalks may be considered at or between intersections to provide more visible pedestrian street crossings, where the County Road Engineer believes that adequate pedestrian safety would be maintained.

C. One Way Streets

All two lane streets allowed in T4 also may be designed as one way streets. One way streets should only be used in specific locations where this street layout is desired and where two or more parallel streets can provide access, creating a couplet where one street provides access in one direction and the paralleling street provides access in the opposite direction. Typically, one way streets should be used where topography suggests their use.

D. Illumination

Street illumination (provided by streetlights) is required for all roadways with more than two lanes of travel. Street illumination may be provided on other streets as needed or as required by the Director, subject to funding guidelines by the Department of Transportation and the illumination requirements of the King County Road Design and Construction Standards. Appropriate styles of streetlights used for illuminating streets in the T5 zone include Post, Column, and Double Column style streetlights. Steel poles shall be used for streetlights unless otherwise approved by the County Road Engineer. Streetlights shall be designed to minimize light pollution, in order to reduce development impact on nocturnal environments and wildlife, and to increase night sky visibility for people. Minimize light trespass from the site by using only lighting fixtures that are fully shielded with cutoff devices, such that all light is directed downward.



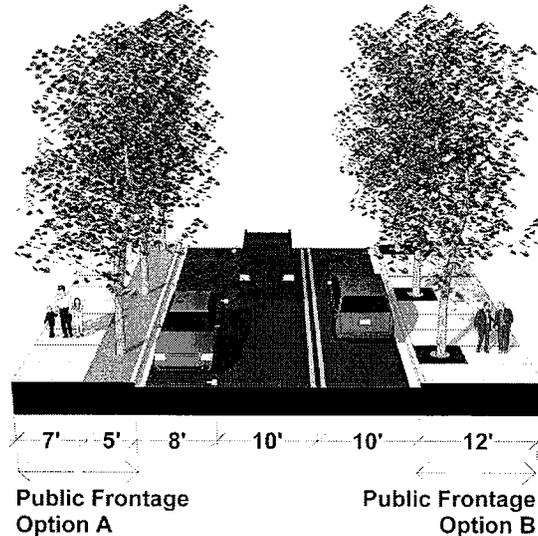
E. Street Sections

The following street sections are allowed in T5:

- Two Lane Street with Parallel Parking on One Side
- Two Lane Street with Parallel Parking
- Two Lane Street with Parallel Parking and Center Turn Lane
- Four Lane Street with Parallel Parking
- Four Lane Street with Parallel Parking and Center Turn Lane/Median

F. Two Lane Street with Parallel Parking on One Side (T5)

This street layout should be used on urban streets in segments that do not receive high volumes of traffic and where slower vehicular speeds are desired. These roads are well-suited for residential areas where children may be present and where only one side of the roadway has active building frontages, which would benefit from on-street parking. If active building frontages are provided on both sides of the street, a layout with parking on both sides should be considered (see the standards for Two Lane Street with Parallel Parking).

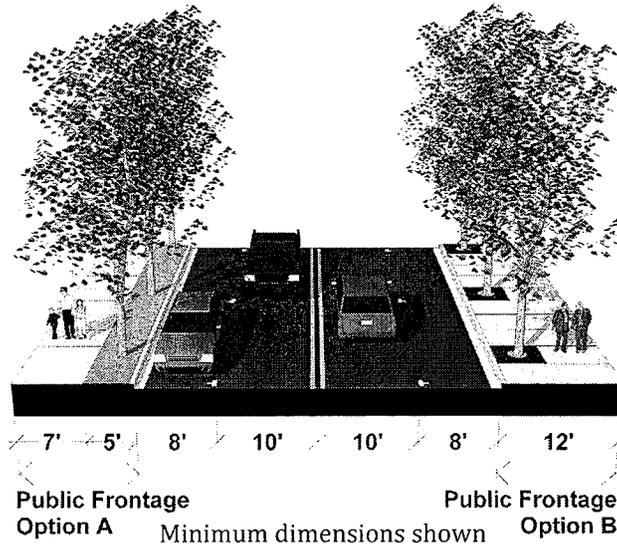


F. Two Lane Street with Parallel Parking on One Side (T5)

1	Right-of-Way Width	52' minimum
2	Pavement Width	28' minimum and 32' maximum
3	Design Speed	20-25 MPH (slow movement)
4	Number of Lanes	1 travel lane in each direction (2 travel lanes total)
5	Travel Lane Width	11' minimum and 12' maximum
6	Center Turn Lane	None
7	On-Street Parking	Parallel parking (one side): 8'
8	Public Frontage Width	6'/6' (parkway/sidewalk) and/or 12' (sidewalk) minimum
9	Walkway Type	Sidewalk
10	Bikeway Type	If provided: bike route and bike lane
11	Edge / Planter Type	Sidewalk/parkway (Option A) and/or sidewalk/tree wells (Option B)
12	Landscape Type	Parkway (Option A): trees spaced an average of 30' on-center with groundcover Sidewalk (Option B): trees spaced an average of 30' on-center in tree wells
13	Additional Modifications	Parking may be provided on either side of the roadway

G. Two Lane Street with Parallel Parking (T5)

This street layout should be used on urban streets in segments that do not receive high volumes of traffic and where slower vehicular speeds are desired. These roads are well-suited for residential areas where children may be present and where left turn movements onto and from the roadway will not greatly affect traffic. This street layout provides a good balance between accommodating vehicular movement and pedestrian crossings. If there are busy areas with major left turn movements between intersections, a layout with a center turn lane should be considered (see the standards for Two Lane Street with Parallel Parking and Center Turn Lane).



G. Two Lane Street with Parallel Parking (T5)

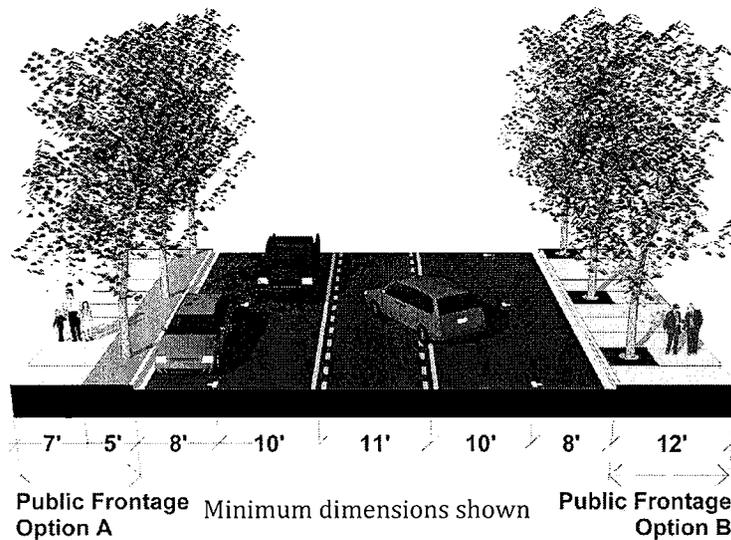
1	Right-of-Way Width	60' minimum
2	Pavement Width	36' minimum and 40' maximum
3	Design Speed	20-25 MPH (slow movement)
4	Number of Lanes	1 travel lane in each direction (2 travel lanes total)
5	Travel Lane Width	10' minimum and 12' maximum
6	Center Turn Lane	None
7	On-Street Parking	Parallel parking: 8'
8	Public Frontage Width	6'/6' (parkway/sidewalk) and/or 12' (sidewalk) minimum
9	Walkway Type	Sidewalk
10	Bikeway Type	If provided: bike route and bike lane
11	Edge / Planter Type	Sidewalk/parkway (Option A) and/or sidewalk/tree wells (Option B)
12	Landscape Type	Parkway (Option A): trees spaced an average of 30' on-center with groundcover Sidewalk (Option B): trees spaced an average of 30' on-center in tree wells
13	Additional Modifications	One side of the roadway may include angled parking instead of parallel parking

H. Two Lane Street with Angled Parking (T5)

Deleted

I. Two Lane Street with Parallel Parking and Center Turn Lane (T5)

This street layout should be used on urban streets in segments that receive low-to-moderate volumes of traffic and where slow-to-moderate vehicular speeds are desired. These streets are generally not appropriate for residential areas where children may be present. These streets are well-suited in areas with major left turn movements between intersections. This street layout provides a good balance between accommodating vehicular movement and pedestrian crossings. The center turn lane will accommodate turning movements with minimal impact to through traffic.



I. Two Lane Street with Parallel Parking and Center Turn Lane (T5)

1	Right-of-Way Width	71' minimum
2	Pavement Width	47' minimum and 52' maximum
3	Design Speed	25-30 MPH (slow-to-moderate movement)
4	Number of Lanes	1 travel lane in each direction (2 travel lanes total)
5	Travel Lane Width	11' minimum and 12' maximum
6	Center Turn Lane	11' minimum and 12' maximum
7	On-Street Parking	Parallel parking: 8'
8	Public Frontage Width	6'/6' (parkway/sidewalk) and/or 12' (sidewalk) minimum
9	Walkway Type	Sidewalk
10	Bikeway Type	If provided: bike route and bike lane
11	Edge / Planter Type	Sidewalk/parkway (Option A) and/or sidewalk/tree wells (Option B)
12	Landscape Type	Parkway (Option A): trees spaced an average of 30' on-center with groundcover

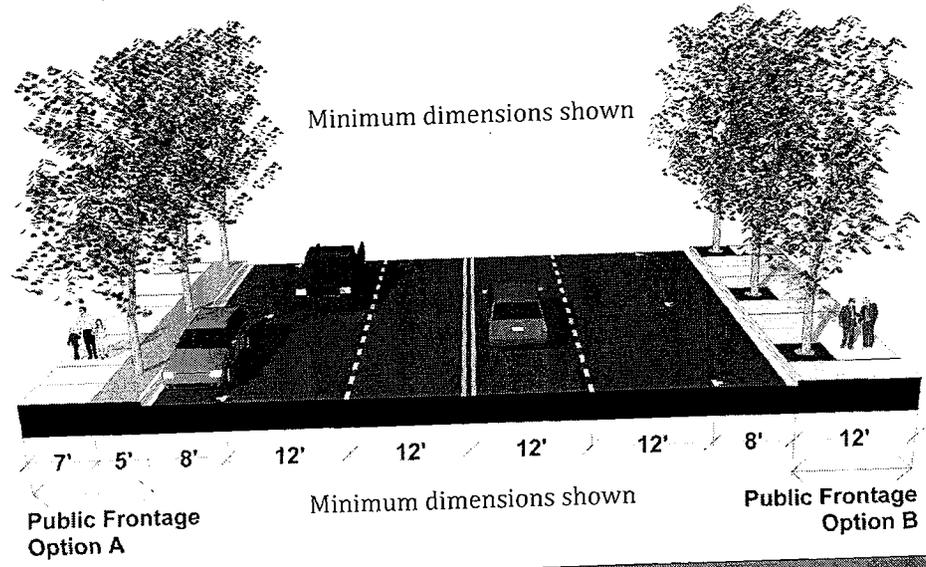
		Sidewalk (Option B): trees spaced an average of 30' on-center in tree wells
13	Additional Modifications	Center turn lane used as dedicated left turn lane (one direction) at intersections; one side of the roadway may include angled parking instead of parallel parking

J. Two Lane Street with Angled Parking and Center Turn Lane (T5)

Deleted

K. Four Lane Street with Parallel Parking (T5)

This street layout should be used on urban streets in segments that receive moderate-to-high volumes of traffic and where moderate vehicular speeds are desired. These streets are generally not appropriate for residential areas where children may be present, but are well-suited in busier areas with a significant amount of through traffic and where on-street parking is desired. This street layout provides a good balance between accommodating vehicular movement and providing on-street parking; however, the increased speeds and wider pavement width create environments that may be less comfortable for pedestrians and require longer crossings.



K. Four Lane Street with Parallel Parking (T5)		
1	Right-of-Way Width	88' minimum
2	Pavement Width	64' minimum and 74' maximum
3	Design Speed	30-35+ MPH (moderate or high movement)
4	Number of Lanes	2 travel lanes in each direction (4 travel lanes total)
5	Travel Lane Width	12' minimum and 14' maximum
6	Center Turn Lane	None
7	On-Street Parking	Parallel parking: 8' minimum (if ≤35 MPH) and 9' maximum (if >35 MPH)
8	Public Frontage Width	6'/6' (parkway/sidewalk) and/or 12' (sidewalk) minimum

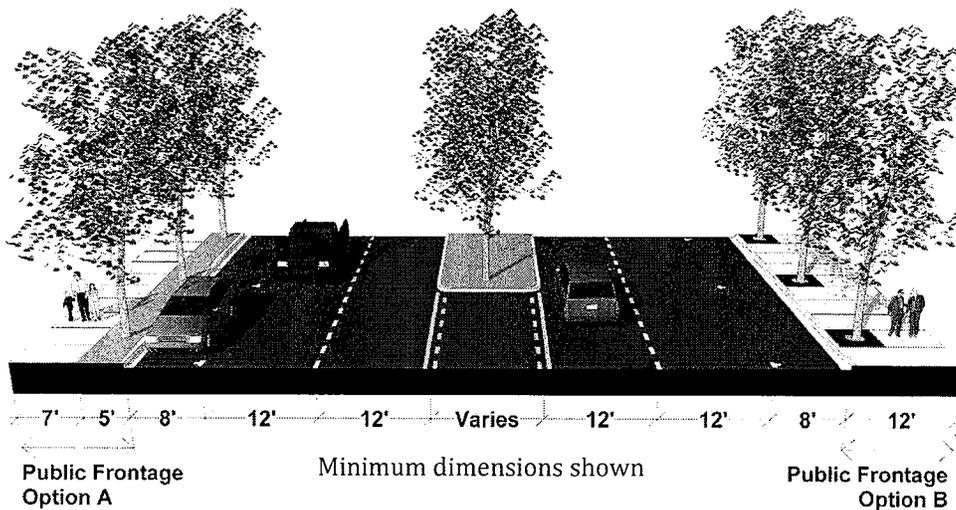
9	Walkway Type	Sidewalk
10	Bikeway Type	If provided: bike route and bike lane
11	Edge / Planter Type	Sidewalk/parkway (Option A) and/or sidewalk/tree well (Option B)
12	Landscape Type	Parkway (Option A): trees spaced an average of 30' on-center with groundcover Sidewalk (Option B): trees spaced an average of 30' on-center in tree wells
13	Additional Modifications	None

L. Four Lane Street with Angled Parking (T5)

Deleted.

M. Four Lane Street with Parallel Parking and a Center Turn Lane/Median (T5)

This street layout should be used on urban streets in segments that receive moderate-to-high volumes of traffic and where moderate vehicular speeds are desired. These streets are generally not appropriate for residential areas where children may be present. These streets are well-suited in busier areas with a significant amount of through traffic, major left turn movements between intersections, and on-street parking demand. This street layout provides a good balance between accommodating vehicular movement and on-street parking; however, increased speeds and increased width may create less comfortable environments for pedestrians and require longer crossings. Center turn lanes accommodate left turns with minimal impact to through traffic.



M. Four Lane Street with Parallel Parking and Center Turn Lane/Median (T5)		
1	Right-of-Way Width	104' minimum
2	Pavement Width	80' minimum and 94' maximum
3	Design Speed	35+ MPH (high movement)
4	Number of Lanes	2 travel lanes in each direction (4 travel lanes total)
5	Travel Lane Width	12' minimum and 14' maximum

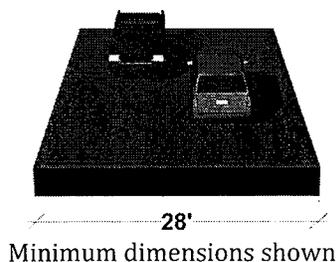
6	Center Turn Lane	11' minimum and 12' maximum (8' minimum and no maximum if median)
7	On-Street Parking	Parallel parking: 8' minimum (if ≤35 MPH) and 9' maximum (if >35 MPH)
8	Public Frontage Width	6'/6' (parkway/sidewalk) and/or 12' (sidewalk) minimum
9	Walkway Type	Sidewalk
10	Bikeway Type	If provided: bike route and bike lane
11	Edge / Planter Type	Sidewalk/parkway (Option A) and/or sidewalk/tree wells (Option B), and median (if provided)
12	Landscape Type	Parkway (Option A): trees spaced an average of 30' on-center with groundcover Sidewalk (Option B): trees spaced an average of 30' on-center in tree wells Median (if provided): trees spaced an average of 30' on-center with groundcover
13	Additional Modifications	Center turn lane used as dedicated left turn lane (one direction) at intersections or as median (which may also include dedicated left turn lanes at intersections)

7. ALLEYS (T3/T4/T5)

Alleys are narrow streets that provide access to the rear and sides of properties. Alleys are primarily used to provide access to parking facilities located to the rear and sides of buildings. Alleys are allowed in T3, T4, and T5. Alleys shall be a minimum of 28 feet in width and shall provide at least two access points to streets. Alleys are designed for very slow (less than 20 MPH) movement.

A. Alley Standards

Alleys shall maintain a paved surface with a minimum width of 28 feet. The paved surface shall be sloped so that a flow line is created to carry the stormwater off site.



CIVIC SPACE STANDARDS

1. INTRODUCTION

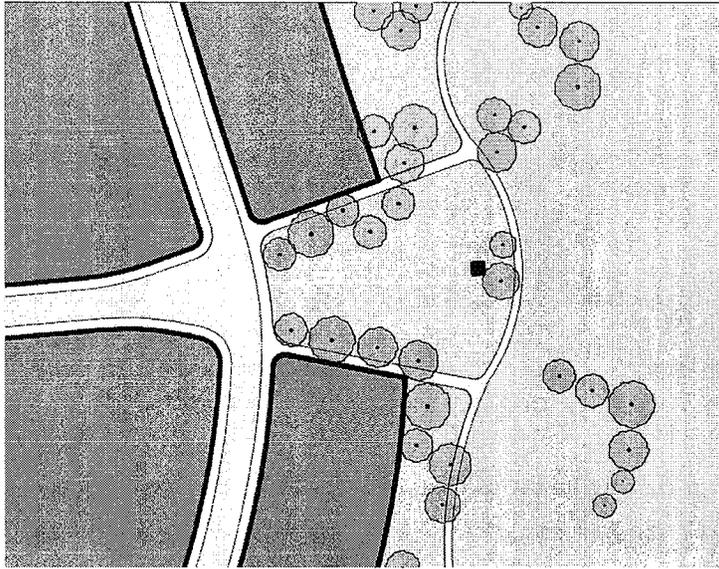
This article provides standards to regulate the design and function of civic spaces. Each civic space has a different purpose and serves different users. The design of civic spaces provided should reflect the adjacent buildings, natural environment, and the needs of intended users.

A. General Standards (All Transects)

1. Civic spaces should be accessible to a variety of users by providing streets, bikeways, walkways, and transit stops within close proximity. Bikeways and walkways within civic spaces should connect to the adjacent bikeway and walkway networks.
2. The edges of public spaces (excluding edges of regional parks that abut T1 zones) shall be open in nature and be defined by streets and building frontages, not backs of buildings and fences/walls.
3. Civic spaces (except for regional parks that are closed before sunset and have controlled access points) shall be illuminated to increase safety for evening and nighttime users.

2. REGIONAL PARK

Regional parks are large natural preserves that are available for generally unstructured recreation. These parks may be designed independent of adjacent building frontages. These parks are generally located in natural and rural areas and near the edges of communities. They are sized to serve a range of users throughout the community. These parks generally emphasize natural uses (i.e. hiking trails and ponds for boating and fishing) and gathering areas (i.e. family picnic areas).



A. Location

Regional parks are allowed in the T1, T2A, T2B, and T3 zones. Regional parks are generally defined by natural boundaries (i.e. streams and hills) and/or constructed boundaries (i.e. property lines and streets). These parks may be linear in design and follow natural corridors (i.e. streams) and constructed corridors (i.e. abandoned railroad corridors).

B. Size

Regional parks shall be a minimum of 20 acres. Smaller parks may be provided along linear corridors.

C. Amenities and Facilities

The following facilities and uses should be provided in regional parks.

- Restrooms and Drinking Fountains
- Food Concessions
- Ticket Sales and Equipment Rental (bikes, kayaks, paddle boats, etc.)

- Picnic Areas
- Paths and Trails, including paths for Pedestrians, Bicyclists, and Equestrians
- Marinas for Lakes and Ponds (if provided)
- Playgrounds
- Grass fields for unstructured recreation
- Benches
- Trash and recycle bins
- Exercise stations (located along paths and trails)
- Dog Parks
- Pedestrian-Scaled Lighting with fully shielded cutoff devices (located along paths and trails)
- Signage and Kiosks
- Public Art and Interpretive Features

The following facilities and uses may be allowed with a conditional use permit:

- Community Centers and Clubhouses
- Amphitheaters and Performance Stages
- Stadiums (which may include taller and brighter lighting)
- Campgrounds
- Sports fields and courts for structured recreation.

D. Landscaping

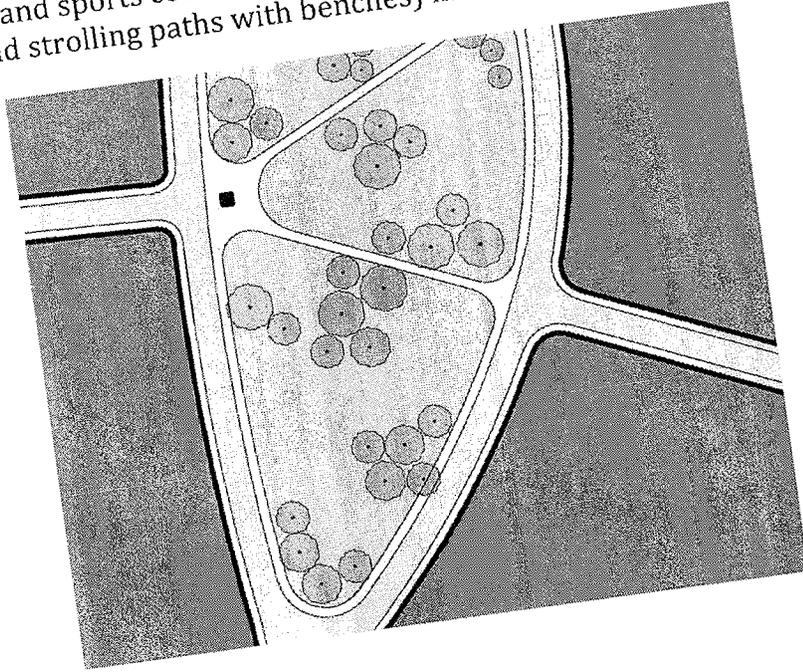
Landscaping shall be provided in an organic (naturalistic) pattern and may include meadows, woodlands, bodies of water, and natural open areas.

E. Parking

Surface parking lots are required for all regional parks. Parking spaced shall be provided at a rate determined by the Director.

3. NEIGHBORHOOD PARK (GREEN)

Neighborhood parks are medium-to-large open spaces that are available for both unstructured recreation and structured recreation. These parks may be designed independent of adjacent building frontages and may be defined by landscaping and streets where buildings do not define the edges. These parks are generally located within a neighborhood and are sized to serve the specific needs of neighborhood residents and visitors. These parks generally emphasize active uses (i.e. playing fields and sports courts) in more rural and transition areas and passive uses (i.e. community gardens and strolling paths with benches) in more urban areas.



A. Location

Neighborhood parks are allowed in the T2B, T2C, T3, T4, and T5 zones. At least 1 edge of the neighborhood park shall be defined by a street. Private properties that bound a neighborhood park should provide front facades along the edge of the park.

B. Size

Neighborhood parks shall be a minimum of 1.5 acres and a maximum of 8 acres.

C. Amenities and Facilities

The following facilities and uses should be provided in neighborhood parks.

- Restrooms and Drinking Fountains
- Picnic Areas
- Gazebos
- Paths and Trails for Pedestrians and Bicyclists

- Grass fields for unstructured recreation.
- Playgrounds
- Playing Fields and Sports Courts
- Dog parks
- Exercise stations (located along paths and trails)
- Benches
- Trash and recycle bins
- Pedestrian-Scaled Lighting with fully shielded cutoff devices (located along paths and trails)
- Signage and Kiosks
- Public Art and Interpretive Features
- Community Garden Plots

The following facilities and uses may be allowed with a conditional use permit:

- Community Centers and Clubhouses
- Amphitheaters and Performance Stages
- Food Concessions and Mobile Vendors

D. Landscaping

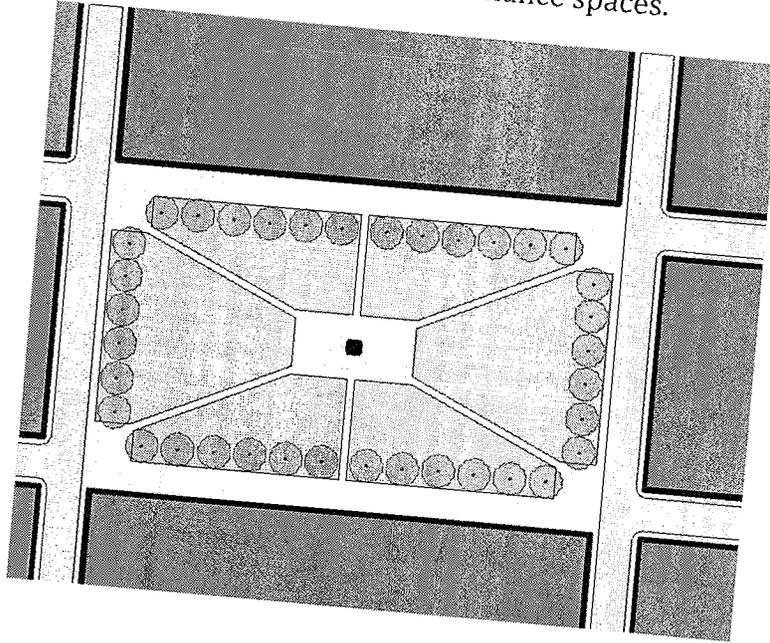
Landscaping should be provided in a generally organic (naturalistic) pattern with more formal landscaping patterns lining streets and paths. Landscaping should include a variety of tree species and lawn areas. Additionally, shrubs and groundcovers should be provided. Special features—such as rose gardens, community garden plots, labyrinths, bonsai gardens, and small-scale orchards—also may be provided throughout neighborhood parks.

E. Parking

Surface parking is not required for neighborhood parks unless it has facilities for sports tournaments, aquatic centers, and other uses that would draw people from outside the neighborhood. Parking for these types of uses shall be determined by the Director.

4. SQUARE

Squares are small-to-medium open spaces that are available for generally unstructured recreation and civic uses. These civic spaces shall be defined by streets and building frontages. These spaces are sized to serve the specific needs of the adjacent neighborhood and may have a regional draw, especially within commercial areas. These civic spaces generally emphasize passive and civic uses, such as open areas to relax, benches, and performance spaces.



A. Location

Squares are allowed in the T2C, T3, T4, and T5 zones. All edges of squares shall be defined by streets. Up to 2 of these streets (parallel to each other) may be converted into pedestrian-only promenades that generally maintain the width and character of the adjacent streets. These spaces are generally located in the middle of a neighborhood and are adjacent to at least one locally significant street.

B. Size

Squares shall be a minimum of 1 acre and a maximum of 5 acres.

C. Amenities and Facilities

The following facilities and uses should be provided in squares:

- Restrooms and Drinking Fountains
- Seating areas
- Gazebos
- Paths for Pedestrians

- Playgrounds
- Fountains and Water Features
- Benches
- Trash and recycle bins
- Pedestrian-Scaled Lighting with fully shielded cutoff devices (located along paths)
- Signage and Kiosks
- Public Art and Interpretive Features
- Community Garden Plots
- Rose Gardens, Bonsai Gardens, Small-Scale Orchards, and similar features

The following facilities and uses shall be allowed by a conditional use permit:

- Food Concessions, Mobile Vendors, and Micro Retail
- Amphitheaters and Performance Stages
- Small Sports Courts
- Community Centers and Clubhouses
- Dog Parks

D. Landscaping

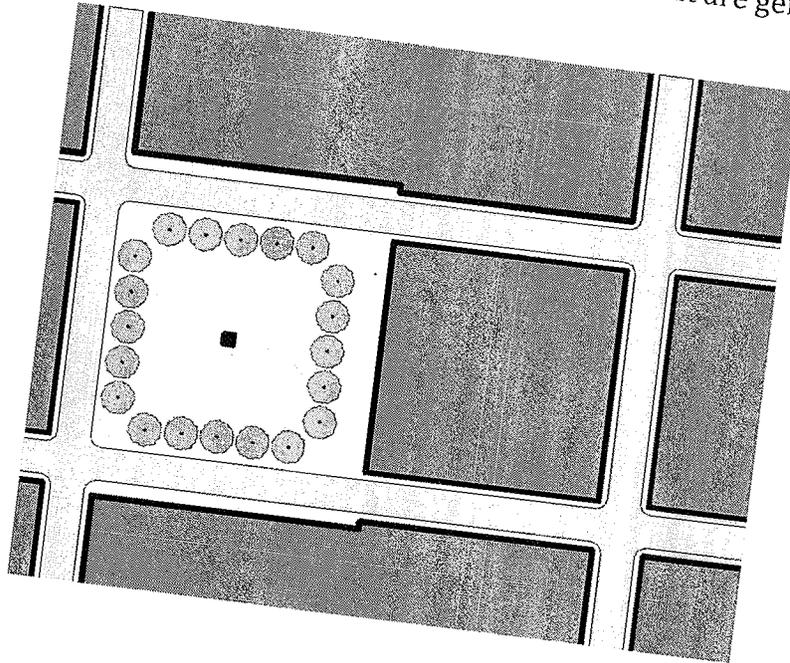
Landscaping should be provided in formal patterns and line paths, street edges, and open areas. Landscaping should include a variety of tree species and open lawn areas.

E. Parking

There are no parking requirements for squares.

5. PLAZA

Plazas are small-to-medium open spaces that are available for civic uses and commercial activities. These spaces are sized to serve the specific needs of the adjacent commercial and civic uses and generally have a regional draw. These civic spaces generally emphasize passive and civic uses, such as open areas to relax, benches, and performance spaces. Plazas are similar to squares but are generally designed with more paved surfaces.



A. Location

Plazas are allowed by right in the T2C, T4, and T5 zones. Plazas shall be defined by a minimum of 150 linear feet of street frontage on at least 1 street. At least 2 edges of plazas should be defined by streets. These spaces are generally located in the middle of a commercial and/or civic district and are adjacent to at least one locally significant street.

B. Size

Plazas shall be a minimum of 0.5 acres and a maximum of 2 acres.

C. Amenities and Facilities

The following facilities and uses should be provided in plazas:

- Drinking Fountains
- Food Concessions, Mobile Vendors, and Micro Retail
- Gazebos and Performance Stages
- Playgrounds

- Fountains and Water Features
- Benches and Planters (that also serve as seat walls)
- Trash and recycle bins
- Pedestrian-Scaled Lighting with fully shielded cutoff devices
- Signage and Kiosks
- Public Art and Interpretive Features

The following facilities and uses shall be allowed by a conditional use permit:

- Amphitheaters

D. Landscaping

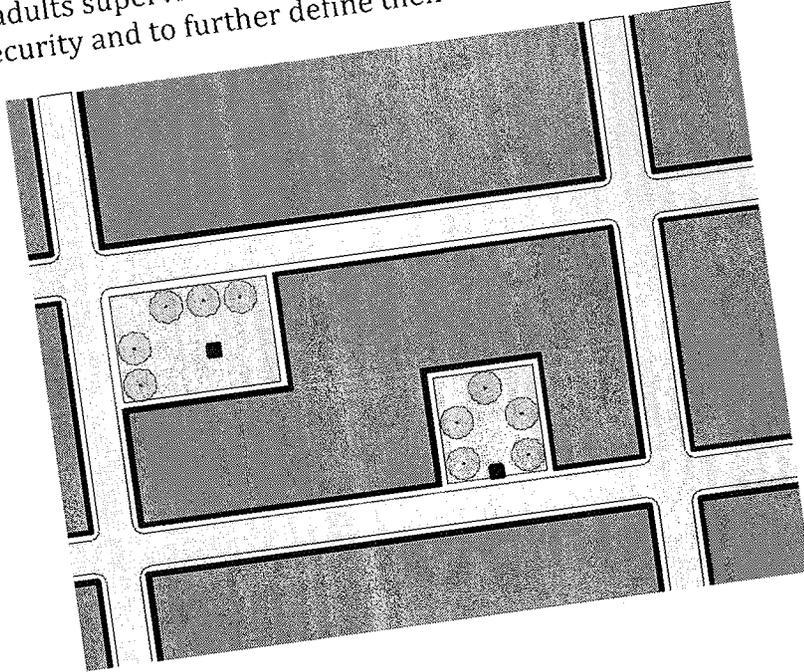
Landscaping should be provided in formal patterns and line street edges and open areas. Landscaping should include a variety of tree species planted in tree wells, planters, and/or pots.

E. Parking

There are no parking requirements for plazas.

6. PLAYGROUND

Playgrounds are small open spaces that are designed and equipped for the recreation of children. These civic spaces shall be defined by streets, building frontages, and other civic spaces. These spaces are sized to serve the specific needs of the users and adjacent civic space (if provided). These civic spaces generally emphasize active recreation for children (i.e. play equipment) and passive recreation for adults supervising the children (i.e. benches). Playgrounds may be fenced off to provide added security and to further define their boundaries.



A. Location

Playgrounds are allowed by right in all transects. Playgrounds may be located within regional parks, neighborhood parks, squares, plazas, and as standalone facilities located in neighborhoods. At least 1 edge of standalone playgrounds shall be defined by a street (excluding those located entirely on private property).

B. Size

There are no minimum or maximum size requirements for playgrounds.

C. Amenities and Facilities

The following facilities and uses should be provided in playgrounds:

- Play Equipment
- Drinking Fountains
- Fountains and Water Features
- Benches

- Trash and recycle bins
- Pedestrian-Scaled Lighting with fully shielded cutoff devices
- Bollards
- Signage and Kiosks
- Public Art and Interpretive Features

D. Landscaping

Landscaping may be provided in formal or informal patterns that line the boundaries and/or are interspersed throughout. Landscaping should include trees and may include

E. Parking

Parking spaces are not required for playgrounds.

This page intentionally left blank.

ARCHITECTURAL STANDARDS

1. INTRODUCTION

This article provides architectural standards that are designed to be general and flexible yet prescriptive and designed to enforce a desired character for buildings. A primary goal of these standards is to provide quality, functional buildings that reflect the architectural style and character and that provide a strong relationship between buildings within a community. This article provides standards for buildings within the T2B, T2C, T3, T4, and T5 zones.

A. General Standards (T2B, T2C, T3, T4, and T5)

This section contains standards for a variety of elements, including building facades, roofs, private frontages, windows and doors, projecting shade structures, equipment screening, lighting, and signs. These standards are designed to promote appropriate development patterns and the desired character for communities throughout King County.

2. GENERAL STANDARDS (T2B, T2C, T3, T4, T5)

A. Facades

1. Each detached single family building shall be differentiated from the two homes to its left and the two homes to its right. Each attached single family unit (such as a townhouse unit) shall be differentiated from the two units to its left and the two units to its right. These buildings and units may be differentiated by using a different style/design or different materials. Different color applications shall also apply to these buildings and units. The intent of this standards is to create a variety of styles and designs and to avoid the creation of completely uniform or “cookie cutter” neighborhoods.
2. Buildings shall be constructed of durable materials that are appropriate for the architectural style of the building. Appropriate materials include:
 - Wood siding (painted or stained);
 - Stucco and plaster;
 - Poured in place concrete and other cementitious materials;
 - Brick, stone, rock, and tile materials (unpainted, unglazed, as accents, and as building bases);
 - Glass (as windows);
 - Wood-, aluminum-, steel-, and copper-framed windows and doors; and
 - Other materials of similar character and quality as approved by the Director.
3. If multiple materials are provided along a building facade, the heavier materials shall be located to the bottom of lighter materials. For example, brick should be provided below wood siding.
4. If changes in materials and/or colors are provided on a building facade, the changes shall occur along inside corners of the building facade; however, changes may occur on a single facade plane if a pronounced expansion joint is used to define a clear separation. Changes in materials and/or colors are prohibited on outside corners.
5. Buildings should be painted with muted and soft colors that are complimentary to one another and are appropriate for the architectural style of the building. Bold and bright colors may be used as accents, to highlight key building features, and to add diversity to the building. Fluorescent, neon, and excessively bold or bright colors are discouraged.
6. Painted exterior building surfaces shall have a matte finish; however, trim may have a glossy finish.

7. On multi-story commercial or mixed-use buildings, a horizontal expression line shall delineate the division between the first story and the second story on front building facades.
8. Walls shall be designed with a whole-system insulating value of R26 or greater.
9. Building facades shall be articulated to prevent monotonous facades. The level of articulation required may vary based on the façade length and overall building mass. In general, larger buildings will require a higher level of articulation. Methods of articulation that may be considered to comply with the Standard include, but are not limited to:
 - Designing the façade with a composition of multiple parts, such as a base for the ground floor, body for upper floors, and/or cap for the roof.
 - Altering the height of roof planes.
 - Creating projections and recesses along the façade.
 - Changing building materials and colors.
 - Providing architectural projections, such as bay windows balconies, awnings, and shade structures.
 - Recessing windows and entrances into the façade to add depth, create shadow patterns, and provide shelter for pedestrians.
 - Dividing large windows into smaller window panes.

B. Roofs

1. Flat roofs shall be enclosed by parapets (which also may include cornices) a minimum 42 inches high or as required to conceal rooftop equipment to the satisfaction of the Director.
2. Sloped roofs shall be designed with overhangs, gutters, and downspouts to prevent water damage and stains on facades and to protect pedestrians from dripping water. If provided, gutters and downspouts shall drain directly to a cistern, landscaped area, retention or detention basin, bioswale, or storm drain system.
3. The Solar Reflectivity Index for flat roofs should be a minimum of 78. The Solar Reflectivity Index for sloped roofs should be a minimum of 29.

C. Private Frontages

1. All private frontages with a building setback shall include a walkway that connects the sidewalk to the building entrance, via the private frontage and associate elements.

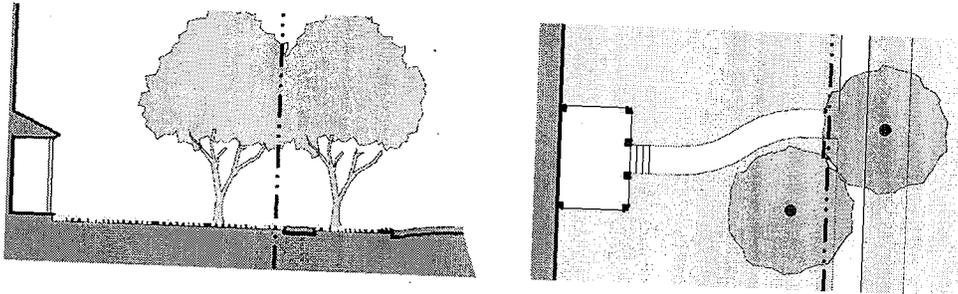
2. Porticos

Porticos provide a covered outdoor entrance landing for visitors while waiting for residents and may also serve as outdoor seating areas for residents.

Porticos may be recessed into the facade and/or may project out from the facade.

Porticos shall be covered by a roof, upper floor of the building, or projecting shade structure.

At least 1 edge of the portico shall be open and at least 1 edge shall be defined by a building entrance and facade; other edges may be open or defined by a building facade. Railings are prohibited along the edges of porticos.



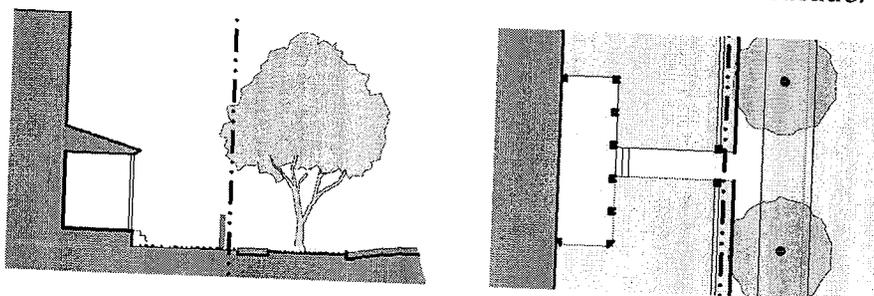
3. Porches

Porches provide covered outdoor space along the front of buildings for seating areas and allow for informal surveillance by neighbors.

Porches may project out from a building facade by up to 12 feet. The platform of the porch shall be a minimum of 50 square feet with no dimension less than 6 feet in length.

Porches shall be covered by a roof.

At least 1 edge of the porch shall be defined by a railing (with an opening to connect to the walkway) and at least 1 edge shall be defined by a building entrance and facade.

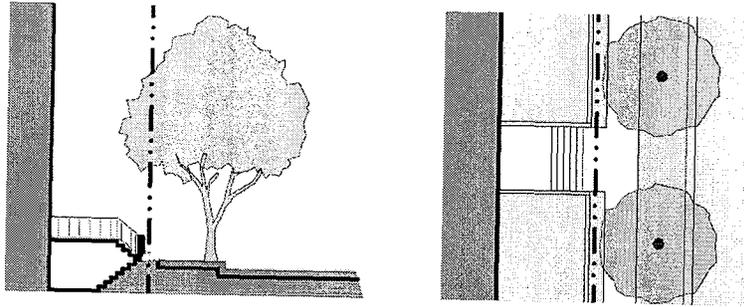


4. Terraces and Lightwells

Terraces and lightwells buffer building uses from urban sidewalks where the majority of front facades are built along sidewalks. Small yards may be placed on raised terraces or placed on lower lightwells to create more privacy.

Terraces and lightwells may include outdoor dining.

The depth of the terrace or lightwell shall not exceed the depth of the build-to-zone (see Article 3: Site and Building Standards).



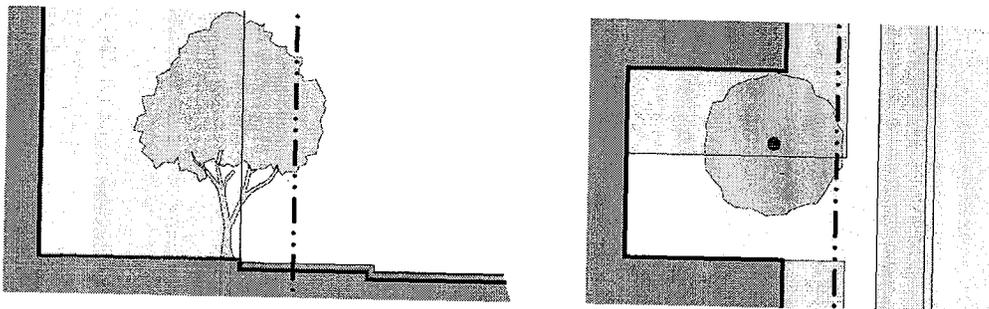
5. Forecourts

Forecourts occur when the majority of the building is built along the built-to-zone and a portion is set back to create a courtyard.

Forecourts may be used in conjunction with another private frontage.

No dimension of the forecourt shall be less than 10 feet in length.

The forecourt should include paved and landscaped surfaces.

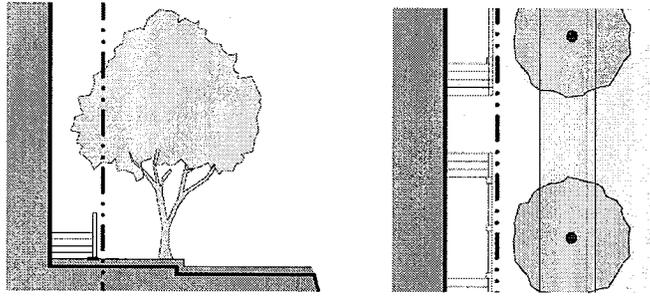


6. Stoops

Stoops provide informal outdoor seating areas for residents and provide an entrance landing for visitors while waiting for residents.

Stoops may be open or covered by a roof or projecting shade element.

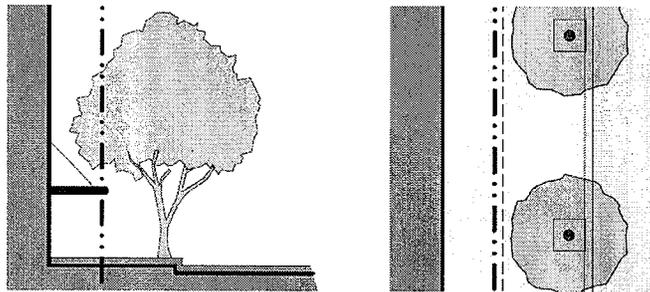
The raised platform of the stoop shall be a minimum of 16 square feet with no dimension less than 4 feet in length.



7. Storefronts

Storefronts provide indoor sales space that is clearly visible from the adjacent sidewalk to encourage window shopping and natural surveillance between the interior shop and exterior sidewalk and street.

Storefronts shall be recessed into the facade by a minimum of 6 inches.

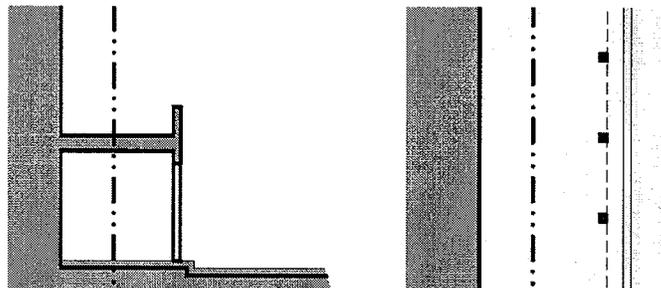


8. Galleries

Galleries provide covered outdoor areas above sidewalks that are directly adjacent to buildings. Galleries should extend over the sidewalk into the public right of way.

Galleries should be used in conjunction with another private frontage, especially storefronts.

Galleries shall be a minimum of 10 feet in width (as measured between the facade and support column).

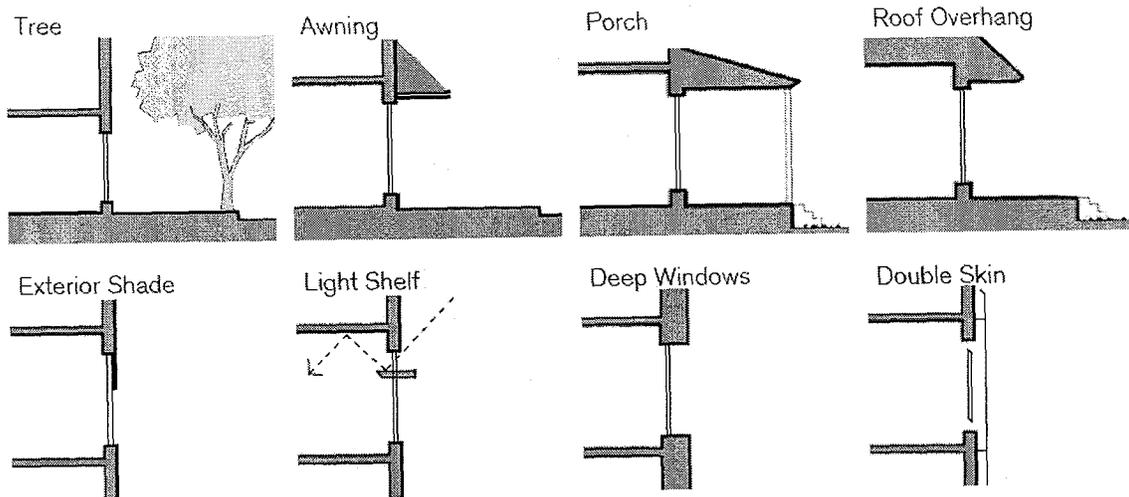


D. Windows and Doors

1. Windows and doors should be recessed into the building facade to provide articulation.

2. Door and window openings should be square or vertically orientated. Arced or semi-circular windows may be provided above square or rectangular windows.
3. Windows shall be provided on all sides (faces) of bay windows. The maximum width of bay windows shall be 12 feet. At least 6 feet of horizontal separation shall be located between bay windows.
4. If used, faux window and door shutters shall have a width that would enclose the entire window or door open when the shutters are closed.
5. Windows that open and close should be used to provide natural ventilation. Fifty percent of the windows on a building should be operable. The operable windows should be distributed to maximize the direction of prevailing breezes.
6. Windows should have maximum average U-value of 0.30.
7. Mirrored, tinted, and colored windows are discouraged on front and external side facades.

8. All south facing windows should be shaded. Appropriate methods of shading include trees, awnings, porches, roof overhangs, exterior shades, light shelves, deep or recessed windows and double skin windows.



9. All street fronting facades (front and external side facades) shall include a certain percentage of window glazing as specified below:

- At least 20% of the façade surface area of each floor (as measured by multiplying the floor-to-floor height by the facade width) shall be occupied by windows.
- If the ground floor is designed with storefronts, at least 50% of the façade surface area (as measured by multiplying the floor-to-floor height by the facade width) shall be occupied by windows. All parts of the window (such as head, jamb, frame, sash, sill, muntin bars, and panes) that are visible on the elevation drawing shall be included as “window” in the calculation.
- Windows on doors and unglazed openings in the façade (such as covered walkways, openings on parking level facades, and parking facility entrances) are considered windows for calculation purposes.

E. Projecting Shade Structures

1. Projecting shade structures, such as awnings, marquees, window shades, trellises, and roof overhangs, should be used to provide articulation and regulate building temperature, especially along south-facing building facades. Upper floor balconies may also satisfy these functions and are encouraged along building facades.
2. Projecting shade structures shall not block storefront or display windows, piers, columns, pilasters, architectural expression lines, and other prominent facade features.

3. If used over a sidewalk or walkway, projecting shade structures shall maintain a minimum vertical clearance of 8 feet above the adjacent sidewalk or walkway.

F. Equipment Screening

1. The following items shall not be visible from an elevation drawing from all streets and civic spaces around a buildings:
 - Heating, ventilation, and cooling equipment (including wall- and window-mounted air conditioning units);
 - Utility meters, power transformers, and sectors;
 - Irrigation and pool pumps;
 - Antennas and satellite dishes (except satellite dishes 18 inches or less in diameter);
 - Rooftop mechanical equipment (except solar panels and small-scale wind turbines on non-historic structures);
 - Permanent barbecues and swimming pools; and
 - Other mechanical equipment as required by the Director.

G. Lighting

1. On-site lighting measured at the property lines shall not exceed 0.5 foot-candles (fc) in the T1 zone; 1.0 fc in the T2A, T2B, T2C, T3, and T4 zones; and 2.0 fc in the T5 zone.
2. Pedestrian-scaled lighting should be provided at building entrances, within parking areas, throughout civic spaces, and within other areas that are routinely used by pedestrians.
3. Lighting poles and fixtures should have a decorative and/or ornamental design that complements the structures on site.
4. Lighting should be provided at regular intervals to prevent the creation of light and dark pockets. Dark pockets can create uncomfortable areas for pedestrians and provide opportunities for criminals to hide in dark shadows. Light pockets can create a “fish bowl” affect. Within the light pocket (or the “fish bowl”), pedestrians may be observed, but their ability to see outside of the light pocket is limited, which creates discomfort and insecurity.

H. Signs

1. Signs shall be constructed of durable and weatherproof materials so that they will not discolor, fade, crack, rust, or erode. Signs shall be replaced and/or repaired as needed to maintain the integrity of the sign.

2. The gross area of all signs parallel to a building facade shall not exceed 10 percent of the total facade area.
3. Signs shall not occupy more than 25 percent of a window, including windows on doors.
4. Signs that project from a building facade or hang from a facade projection shall maintain a minimum vertical clearance of 8 feet above the sidewalk or walkway and shall not exceed an area of 10 square feet (per sign).
5. Signs shall not be located above the roof overhang or parapet; however, special signs, such as theater marquee signs or individually mounted letters constructed on top of the parapet, may project above the roof overhang or parapet if approved by the Director.
6. Signs that project from a building facade, signs that hang from a facade projection, and signs located on awnings and windows (except for “open” signs on windows) shall be externally illuminated.
7. Monument and freestanding signs shall not exceed a height of 5 feet and shall not impact views at intersections and driveways.
8. The following signs are prohibited:
 - Billboards, pole-mounted signs, and “lollipop” signs;
 - Inflatable or windblown signs;
 - Signs that produce smoke or noise;
 - Signs with animated or moving features;
 - Changeable letter or electronic display signs (except those approved by the Director);
 - Roof-mounted signs;
 - Permanent sidewalk signs and banner signs; and
 - Internally illuminated box signs that light the entire sign (letters, symbols, logos, and background).

DEFINITIONS

1. PURPOSE

This Article provides definitions for terms and phrases used in this Code that are specialized or technical in nature or that otherwise may not reflect common usage. If any of the definitions in this Article conflict with definitions in other provisions of the County Code, these definitions shall control for the purposes of this Code. If a term is not defined in this Article, then the Director shall determine the correct definition. Items in italics refer to Articles, Sections, or Tables in this Code.

2. DEFINITIONS OF SPECIALIZED TERMS AND PHRASES

Accessory Unit: a studio or one-bedroom residential unit not greater than 625 square feet sharing ownership and utility connections with a primary building. Accessory units may or may not be within an outbuilding.

Affordable Housing: dwellings consisting of rental or for-sale units that are priced for renters and homeowners with incomes 80% (moderate), 50% (low), or 30% (very low) of the median.

Agricultural Anaerobic Digester: the conversion of agricultural organic matter into energy through a series of processes in which microorganisms break down the biodegradable agricultural material in the absence of oxygen.

Agricultural Plots: designated areas of land for agricultural uses.

Agricultural Related Special Needs Camp: an establishment primarily engaged in operating a camp for youths with special needs due to a disability, as defined by the American with Disabilities Act of 1990, or due to medical conditions, that engages in activities that are related to or coexist with agriculture and agricultural activities onsite. Agriculture-related special needs camps do not

| DEFINITIONS

include establishments that have as a primary purpose the treatment of addictions, correctional or disciplinary training, or housing for homeless persons.

Agricultural Training Facility: an establishment developed for use by the property owner, its employees, and/or agricultural trainees for training activities which are related to or supportive of the agricultural use of the property and surrounding agricultural activities. Agriculture training facilities may include overnight lodging, meeting rooms, and educational activities.

Airport/Heliport: any runway, landing area or other facility, excluding facilities for the primary use of the individual property owner which are classified as helistops, designed or used by public carriers or private aircraft for the landing and taking off of aircraft, including the following associated facilities: (A) Taxiways; (B) Aircraft storage and tie-down areas; (C) Hangars; (D) Servicing; and (E) Passenger and air freight terminals.

Amusement/Recreation Services: an establishment engaged in the entertainment and recreation of its patrons, including golf facilities, indoor paintball, and amusement parks.

Alcohol Service/Sales: the serving and/or sales of alcohol.

Alley: a street type that is located adjacent to internal side and rear property lines. Alleys generally provide access service areas, parking, outbuildings, and utility easements.

Apartment: a residential unit sharing a building and a lot with other units and/or uses. Apartments may be for rent, or for sale as a condominium.

Appliance/Equipment Repair: an establishment engaged in repairing appliances and other equipment. Such establishments may include the sale of associated items.

Aquaculture: the farming of freshwater and saltwater organisms including mollusks, crustaceans and aquatic plants. Aquaculture is different than fishing because it involves the cultivation of aquatic populations under controlled conditions.

Arboretum: a collection of trees, such as in a botanical garden.

Arcades (Indoor): an establishment that provides 5 or more pinball machines, video games, or other such player-operator amusement devices (excluding juke boxes or gambling-related machines) to its patrons.

Artist Studio: an establishment in which artists may create their work.

Asphalt/Concrete Mixtures and Block: the conversion of mineral resources to create building materials such as asphalt, cement and concrete mixtures, concrete block and pavers.

Auto Dealers: an establishment engaged in the retail sale of automobiles.

Awning: a covered architectural projection that extends from the exterior wall of a building for the purpose of providing shade or shelter.

Balcony: a platform that projects from an upper floor of a building.

Basement: a building floor that is below the ground floor.

Bay Window: a projection from a building facade that include multiple window panes on multiple planes. Bay windows generally consist of three sides.

Bed and Breakfast: a lodging establishment that includes bedrooms for paying guests in a primary and/or accessory building. Meal service is often provided to guests spending the night in the establishment.

Bike Lane: a dedicated lane within a street that is used for cycling and is demarcated by lane striping and/or a special coloring (such as a blue lane) to increase visibility. Bike lanes are generally used on streets with slow-to-moderate or moderate vehicular speeds.

Bike Route: a street suitable for the shared use of bicycles and automobiles moving at low speeds. Bike routes are demarcated with “sharrow” pavement markings on the travel lane and signage. Bike routes are generally used on streets with slow and slow-to-moderate vehicular speeds.

Bioswale: an extended rain garden that sometimes runs the length of the block.

Block: the aggregate of private lots, civic spaces, and alleys that are circumscribed by streets.

Block Face: the aggregate length of all front and external side property lines on a side of a block.

Block Size: the aggregate length of all block faces within a block.

BTZ: see Build-to-Zone.

Bus Rapid Transit: a bus system with its own right-of-way or dedicated lane along at least 70% of its route, providing transit service that is faster than a regular bus.

Build-to-Zone: the area in which a facade shall be constructed.

Bulbout: an extension of the sidewalk into the parking lane at intersection and mid-block crosswalks. Bulbouts reduce the length of pedestrian crossings and help to slow vehicle traffic.

By Right: a use or other element that complies with this Regulating Code and is permitted and will be processed administratively, without a public hearing, variance, or warrant.

Civic Building: a building operated by non-profit organizations dedicated to arts, culture, education, or recreation, government, transit, and municipal parking, or for use approved by the County Council.

Civic Space: an outdoor area dedicated for public use. Civic spaces are defined by the combination of certain physical constants, including the relationships among their intended use, size, landscaping, amenities, and associated buildings.

Clustered Land Development: a new community type that provides development in clusters or groupings and preserves open space areas as T1, including all areas to be protected and preserved by the King County Critical Areas Ordinance (Chapter 21A.24 of the King County Code). Remaining areas may be designated as a variety of other transect zones, with new development that is generally clustered around (but not within) preserved areas.

Communication Facility: a communication facility for transmission and reception of: (A) Two-way and/or citizen band ("CB") radio signals; (B) Point-to-point microwave signals; (C) Cellular radio signals; (D) Signals through FM radio translators; (E) Signals through FM radio boosters under ten watts effective radiated power ("ERP"); (G) UHF and VHF television signals; or (H) FM or AM radio signals.

Community Garden: a piece of land on which a group of people may garden. Community gardens are often divided into several plots, which are assigned to group members.

Community Residential Facility: living quarters that function as a single housekeeping unit and provide supportive services, including but not limited to counseling, rehabilitation and medical supervision, excluding drug and alcohol detoxification which is classified in the King County Code Section 21A.08.050 as health services, and excluding a secure community transition facility. For domestic violence shelters, minors living with a parent shall not be counted as part of the maximum number of residents. Community residential facilities are classified as: (A) Community Residential Facility I: 9 to 10 residents and staff; (B) Community Residential Facility II: 11 or more residents and staff. If staffed by nonresident staff, each 24 staff hours per day equals one full-time residing staff member for purposes of sub-classifying community residential facilities.

Conditional Use Permit: a permit granted by the County to locate a permitted use on a particular property subject to conditions placed on the permitted use to ensure compatibility with nearby land uses, in compliance with Section 21A.06.230 of the Zoning Code.

Curb: the edge of the vehicular pavement (travel lane, bike lane, or on-street parking) that may be raised or flush to a gutter or swale. Curbs usually incorporate the drainage system and are flush with the sidewalk (if provided).

Day Care: an establishment for group care of non-resident adults or children, including adult day health centers or social day care, nursery schools for children, private kindergartens or pre-kindergartens (not a part of a school), and programs covering after school care for children. Day

care establishments are classified as: (1) Daycare I : a maximum of 12 adults or children in any 24 hour period; and (2) Daycare II : over 12 adults or children in any 24 hour period.

Density: the number of dwelling units within a standard measure of land area. Density is usually represented in dwelling units per acre.

Department Store: an establishment engaged in the retail sale of a variety of lines of merchandise, such as: dry goods, apparel and accessories, home furnishings, and housewares.

Design Speed: the velocity at which a street tends to be driven without the constraints of signage or enforcement. There are 5 ranges of speed: Very Slow (less than 20 MPH); Slow (20-25 MPH); Slow-to-Moderate (25-30 MPH); Moderate: (30-35 MPH); High: (above 35 MPH). Lane width is determined by desired design speed.

Developable Areas: lands other than those in the (T1) Natural Transect Zone.

Dog Training Facility: a place for the training of dogs for discipline, agility and other purposes.

Dormitory: a residential building that provides sleeping quarters, but not separate dwelling units, and may include common dining, cooking and recreation or bathing facilities.

Driveway: a vehicular lane within a lot, often leading to a garage.

Drug Store/Pharmacy: an establishment engaged in the retail sale of prescription drugs, nonprescription medicines, cosmetics, and related supplies.

Eating and Drinking Places: an establishment engaged in the retail sale of food and beverages for consumption on-site or for take-out.

Effective Turning Radius: the measurement of the inside turning radius taking into account parked vehicles.

Encroach: to break the plane of a vertical or horizontal regulatory limit with a structural element, so that it extends into a setback, into the public frontage, or above a height limit.

Encroachment: any structural element that breaks the plane of a vertical or horizontal regulatory limit, extending into a setback, into the public frontage, or above a height limit.

Energy Resource Recovery Facility: an establishment for recovery of energy in a usable form from mass burning or refuse-derived fuel incineration, pyrolysis or any other means of using the heat of combustion of solid waste.

Expression Line: a line prescribed at a certain level of a building facade, expressed by a variation in material or by a limited projection such as a molding or balcony.

| DEFINITIONS

Facade: the exterior wall of a building.

Farm Product Warehousing, Refrigeration, and Storage: an establishment engaged in the warehousing, refrigeration, and/or storage of agricultural or farm products.

Floor: a habitable level within a building, excluding an attic or basement.

Food and Kindred Products Manufacturing: an establishment engaged in the manufacturing or processing foods, beverages, and certain related products, such as manufactured ice, chewing gum, vegetable and animal fats and oils, and prepared feeds for animals and fowls.

Food Store: an establishment engaged in the retail sale of food and groceries, excluding eating and drinking places.

Forecourt: a private frontage wherein a portion of the facade is close to the property line and the remainder (often the central portion) is set back.

Forest Supply Sales: the sale of supplies and equipment for forestry related endeavors.

Front Property Line: The property line that is adjacent to a public frontage or civic space. On corner lots, the front property line is determined by the primary building entrance and the address of the primary building.

Frontage: the area between a building facade and the outer edges of vehicular pavement (travel lanes, bike lanes, and on-street parking). Frontage is divided into private and public frontage.

Funeral Home: an establishment engaged in providing funeral and burial services for deceased persons and their families, such as prepared wakes and funerals and the provision of a chapel.

Gallery: a private frontage conventional for commercial uses (especially retail use) wherein the facade is aligned close to the property line with an attached cantilevered shed or lightweight colonnade overlapping the sidewalk.

General Business Service: an establishment in which income is generated primarily from customers that receive a service performed on-site. General business service businesses may also generate secondary income from retail sales that are related to the service. General business service businesses include blue printing/copy centers and conference room rentals.

General Personal Service: an establishment in which income is generated primarily from customers that receive a service performed on-site. General personal service businesses may also generate secondary income from retail sales that are related to the service. General personal service businesses include hair salons, barber shops, health clubs and gyms, pet grooming, photography studios, massage parlors, tutoring, dance and art instructions, martial arts studios, laundry and dry cleaning services, tattoo parlors/body piercing, counselors, therapist, and blue printing/copy centers.

Green: see Neighborhood Park.

Green Roof: a building roof partially or completely covered with vegetation and soil, or a growing medium, over a waterproofing membrane.

Group Housing for Farm Workers: a residential unit or grouping of residential units for farm workers. Such units may have shared facilities, such as bathrooms and kitchens.

Growing and Harvesting Forest Products: growing and harvesting of goods produced, extracted, consumed, gathered, or harvested from a forest including, but not limited to trees, wood chips, logs, fuelwood, cones, Christmas trees, berries, herbs, or mushrooms.

Growing and Harvesting Crops: the production and harvesting of crops. Organic methods promote crop rotation, green manure, compost, biological pest control, and mechanical cultivation to maintain soil productivity and control disruptive pests. Organic methods do not use, or place strict limitations on the use of, synthetic fertilizers and pesticides, plant growth regulators, livestock feed additives, and genetically modified organisms.

Gutter: the edge of the vehicular pavement (travel lane, bike lane, or on-street parking) that is flush with this surface and usually depressed from the top of the adjacent curb.

Hardware/Building Supply Store: an establishment engaged in the retail sale of hardware and/or building supplies.

Hatchery/Fish Preserve: an establishment that hatches fish eggs under a controlled environment, or an area set aside for the raising of fish.

Hotel/Motel: a lodging establishment where units are accessed from an internal or external hallway. Such establishments may have additional facilities for guests including swimming pools, laundry service and meal service.

Historic Building: a building that is listed on the National Register of Historic Places and/or the Washington State Heritage Register or the Washington State Heritage Barn Register.

Home Industry: a limited-scale sales, service or fabrication activity undertaken for financial gain, which occurs in a dwelling unit or residential accessory building, or in a barn or other resource accessory building and is subordinate to the primary use of the site as a residence.

Home Occupation: a limited-scale service or fabrication activity undertaken for financial gain, which occurs in a dwelling unit or accessory building and is subordinate to the primary use of the site as a residence.

Impervious Surface: surfaces that do not allow water to percolate through.

Internal Streets: streets that are located on private property.

| DEFINITIONS

Jail Farm/Camp: a farm or camp on which persons convicted of minor law violations are confined and participate in agriculture and other work activities of the facility.

Kennel: a place where adult dogs are temporarily boarded for compensation, whether or not for training. An adult dog is one of either sex, altered or unaltered, that has reached the age of 6 months.

Landfill: a disposal site or part of a site at which refuse is deposited.

Lightwell: a private frontage type that is a below-grade entrance or recess designed to allow light into basements.

Liquor Store: an establishment in which income is generated primarily from the sale of alcohol.

Livestock: grazing animals kept either in open fields or structures for training, boarding, home use, sales, or breeding and production, including but not limited to: (A) Cattle; (B) Riding and draft horses; (C) Hogs, excluding pigs weighing under 120 pounds and standing 20 inches or less at the shoulder which are kept as pets or small animals; (D) Sheep; and (E) Goats.

Livestock Sales: the sale of livestock but not including auctions.

Lodging: premises available for daily and weekly renting of bedrooms.

Log Storage: a facility for the open or enclosed storage of logs which may include repair facilities for equipment used on-site or operations offices.

Lollipop Sign: a sign mounted on top of a single pole.

Lot: a parcel of land defined by property lines within which a building or buildings of unified design are accommodated. The size of a lot is controlled by its width or total square footage.

Lot Size: the area (usually represented in square feet or acres) of a lot.

Lot Width: the length of the front property line of a lot.

Manufacturing: premises available for the creation, assemblage of artifacts, using equipment, and including their retail sale.

Marquee: a permanent roof-like structure that projects from the building wall to provide shade and shelter. Marquees may have signs.

Materials Processing Facility: a site or establishment, not accessory to a mineral extraction or sawmill use, that is primarily engaged in crushing, grinding, pulverizing or otherwise preparing earth materials, vegetation, organic waste, construction and demolition materials or source separated organic materials and that is not the final disposal site.

Medical or Dental Lab: a facility that process tests and other lab work for medical or dental offices and outpatient clinics.

Medical or Dental Office/Outpatient Clinic: an office for doctors, dentists, and outpatient treatment and services.

Mineral Extraction and Processing: the extraction and processing of minerals including crushing, grinding, pulverizing or otherwise preparing earth materials, vegetation, organic waste, construction and demolition materials or source separated organic materials.

Mixed-Use: multiple uses within the same building through superimposition or adjacency, or in multiple buildings by adjacency, or at a proximity determined by warrant.

Municipal Water Production: the collection and processing of surface water through means of dams or other methods of impoundment for municipal water systems.

Multifamily Residential Unit: a residential unit provided in the same building as an adjacent unit, often rented by occupants.

Museum: an establishment that provides artifacts and works of art to visitors. Museums are often operated by a non-profit organization.

Neighborhood Park: a civic space for unstructured recreation, spatially defined by landscaping and streets rather than building frontages.

New Community: a new development that follows the standards for clustered land development, traditional neighborhood development, or transit-oriented development.

Non-Hydroelectric Generation Facility: an establishment for the generation of electricity by nuclear reaction, burning fossil fuels, or other electricity generation methods.

Nursery, Garden Center, and Farm Supply Stores: an establishment primarily engaged in retailing to the general public: (A) Trees, shrubs, other plants, seeds, bulbs, mulches, soil conditioners, fertilizers, pesticides, garden tools, landscaping materials and other garden supplies; and (B) Animal feeds, fertilizers, agricultural chemicals, pesticides, seeds and other farm supplies.

Nursing and Personal Care Facilities: a residential care facility that provide care and services for patients with chronic illnesses, disabilities, and mobility or eating impairments.

Office: Any business establishment that provides administrative or clerical work or service-related work that does not require the customer or client to be on site to receive the service. Office uses include banks, financial institutions, and administrative and professional offices for architects, engineers, consultants, marketing agents, travel agents, insurance and real estate agents, and lawyers.

| DEFINITIONS

Oil and Gas Extraction: the harvesting of oil and gas from the ground.

Outbuilding: an accessory building that is usually located toward the rear of the same lot as a primary building. Outbuildings may include an accessory unit and function as a detached garage.

Outdoor Paintball: an area where patrons may partake in a game of paintball. Paintball is a sport in which participants eliminate opponents from play by hitting them with paintballs shot from a compressed-gas-powered paintball gun.

Parking Structure: a building containing one or more floors of parking above grade.

Parkway: the portion of the public frontage that is adjacent to the sidewalks and is landscaped with turf, street trees, sidewalk amenities (such as benches), and other landscaping.

Planter: the portion of the public frontage that accommodates street trees, whether continuous or individual. These planters may be provided as a series of tree wells, as parkways, or as swales. Planters on private property refer to elevated beds that accommodate landscaping.

Playground: a civic space type designed with play equipment. Playgrounds may be located within another civic space or as standalone facilities.

Plaza: a civic space type designed for civic purposes and commercial activities in the more urban transect zones. Plazas are generally paved and spatially defined by building frontages.

Police Substation: an establishment that is operated by the police department and includes storage of police vehicles and other police equipment. Police substations include a lobby for citizens and office space for police officers on duty. Police substations may include dormitory units and other amenities for police officers on duty.

Porch: an area connected to the ground floor of a building that is covered by a roof, but does not contain glass windows, walls, or fences (except railings and support posts).

Portico: a landing adjacent to an entrance covered by a roof structure but not enclosed by a wall.

Primary Building: the main building on a lot. If provided, outbuildings are generally located to the rear of the primary building.

Primary Entrance: the main point of access for pedestrians into a building.

Primary Unit: a residential dwelling unit within the primary building, but not an accessory unit.

Private Frontage: the area between the primary building's facade and the front and external side property lines.

Private Stormwater Management Facilities: stormwater management facilities that are located on private property and are operated and maintained by a private entity.

Produce/Flower Stand: a temporary structure used for the sale of produce and/or flowers.

Professional Office: any business establishment that provides administrative or clerical work or service-related work that does not require the customer or client to be on site to receive the service. Office uses include banks, financial institutions, and administrative and professional offices for architects, engineers, consultants, marketing agents, travel agents, insurance and real estate agents, and lawyers.

Property Line: the boundary that legally and geometrically demarcates a lot. There are 4 types of property lines: front; external side; internal side; and rear.

Protected Tree: all trees 6 inch caliper and larger, and stands of trees consisting of 5 or more trees. The following types of trees shall not be considered protected trees: (A) Damaged or diseased trees; (B) Trees that are dangerous or are a safety risks due to root, trunk, or crown structure failure; (C) Trees that have invasive root systems; (D) Trees that have weak wood prone to breakage; (E) Trees that tend to harbor insect pests, are excluded, including all Populus species, all Alnus species, all Salix species, and all Platanus species; and (F) Trees that are proposed for removal for the purpose of allowing solar access to existing structures, or to create pasture land in transect T2A, are excluded.

Public Agency or Utility Office: an office for the administration of any governmental or utility activity or program, with no outdoor storage.

Public Frontage: the area between the front and external side property lines and the edge (usually the curb face) of the vehicular pavement (travel lane, bike lane, on-street parking).

Rain Garden: sunken garden using native plants and sometimes trees.

Raising Livestock and Small Animals: the housing and raising of livestock and small animals.

Regional Park: a civic space type that is a natural preserve available for unstructured recreation.

Regulating Plan: a zoning map or set of maps that shows the transect zones, civic spaces, special districts (if any), and special requirements (if any) of areas subject to, or potentially subject to, regulation by this Code.

Religious Use: any use that is managed or funded by an organized religious institution or group.

Residential: a use that accommodates living space, including apartment units, condominium units, and attached or detached house units.

Residential Density Incentives: see Chapter 21.A.34 of the King County Code.

Retail: see Retail Store.

Retail Store: an establishment that generates income by selling a tangible good or product, excluding Eating and Drinking Places. Retail stores include book stores, apparel and accessories stores, sporting good stores, florists, electronic and appliance stores, grocery stores, pet stores, jewelry stores, shoe stores, gift shops, pet shops, home furnishing stores, antique/recycled goods stores, specialty retail stores, card shops, art supply stores, toy stores, and video and game stores. Adult-only retail uses are prohibited by this Code.

Road: a street type that is not characterized by a curb and gutter. Roads include swales and may also include shoulders. Roads are permitted in the T1, T2A, T2B, T2C, and T3 zones.

Secure Community Transition Facility: a facility for persons civilly committed and conditionally released to a less restrictive alternative. A secure community transition facility has supervision and security, and either provides or ensures the provision of sex offender treatment services.

Self Service Storage: an establishment that includes rooms or compartments that may be rented for storage of personal items.

Senior Citizen Assisted Living: Senior housing in a building consisting of two or more dwelling units or sleeping units restricted to occupancy by at least one senior citizen per unit, and may include the following support services, as deemed necessary: (A) Food preparation and dining areas; (B) Group activity areas; (C) Medical supervision; and (D) Similar activities.

Setback: the area of a lot measured from the property line to the primary building's facade. Setbacks generally do not include permanent structures, with the exception of permitted encroachments, such as some private frontages and projecting elements.

Shared Parking: parking spaces that are available to more than one use or lot.

Shooting Range: a facility designed to provide a confined space for safe target practice with firearms, archery equipment, or other weapons.

Shoulder: an unpaved surface between a swale and the vehicular pavement (travel lane, bike lane, on-street parking) of a street.

Sidewalk: the paved section of the public frontage dedicated exclusively to pedestrian activity.

Single Family Residential Unit: a unit in which the owner owns both the unit and the lot on which the unit is located. A maximum of one primary unit is allowed on the lot.

Small Animals: any animal other than livestock or animals considered to be predatory or wild which are kept outside a dwelling unit all or part of the time; animals considered predatory or wild, excluding those in zoo animal breeding facilities, shall be considered small animals when

they are taken into captivity for the purposes of breeding, domestication, training, hunting or exhibition.

Social Services: governmental agencies and non-profit organizations that provide services to advance human welfare and provide services to underserved populations.

Soil Recycling Facility: an establishment engaged in the collection, storage and treatment of contaminated soils to remove and reuse organic contaminants.

Solar Photovoltaic/Solar Thermal Energy Systems: the generation of energy through the use of solar photovoltaic and thermal energy systems.

Special District: an area that, by its intrinsic use, function, or configuration, cannot or should not conform to one or more of the transect zones or types of new communities regulated by this Code.

Sports Club/Fitness Center: an establishment engaged in operating physical fitness facilities and sports and recreation clubs.

Square: a civic space type designed for unstructured recreation and civic purposes that is spatially defined by building frontages.

Stable: a structure or facility in which horses or other livestock are kept for: (A) Boarding; (B) Training; (C) Riding lessons; (D) Breeding; (E) Rental; or (F) Personal use.

Stepback: a portion of an upper floor building facade that is recessed or set back from the plane of the ground floor building facade.

Stoop: a private frontage wherein the facade is aligned close to the built-to-zone with the first floor elevated from the sidewalk for privacy and with an exterior stair and landing at the entrance.

Storefront: a private frontage conventional for retail use (and some other commercial uses) that is located adjacent to a sidewalk or paved setback and includes substantial glazing on the ground floor building facade. Storefronts contain the primary entrance for a business. Storefronts often include awnings and other projecting shade structures.

Street: a general term for roadway, including vehicular travel lanes, bike lanes, on-street parking, and the adjacent public frontages. Street may also be used to describe a roadway that has a curb and gutter, unlike a road which has a swale and may have a shoulder. Such streets are permitted in the T2C, T3, T4, and T5 zones.

Street Stub: a planned street connection that has not been completed. Street stubs are built with the planned width of the street, but are only constructed to the edge of the development project or lot. Once the adjacent lot or phase of development commences, the street stub will be continued to complete the street connection.

| DEFINITIONS

Swale: a low or slightly depressed natural area for drainage. Swales are generally used within the public frontage along roads and may also include a shoulder.

TDR: see “Transfer of Development Rights”.

Terrace: a private frontage type that is an above-grade entrance or recess designed to allow light into basements and provide an elevated landing for the ground floor.

Theater (Movie or Live Performance): an establishment primarily engaged in the indoor exhibition of motion pictures or of live theatrical presentations.

Traditional Neighborhood Development: a new community type that includes a mix of T3, T4, and T5 zones and includes an interconnected street network with limited block sizes to encourage walking and pedestrian connections. All areas to be protected and preserved by the King County Critical Areas Ordinance (Chapter 21A.24 of the King County Code) are designated as the T1 zone.

Transfer of Development Rights: see Chapter 21.A.37 of the King County Code.

Transfer Station: a staffed collection and transportation facility used by private individuals and route collection vehicles to deposit solid waste collected off-site into larger transfer vehicles for transport to permanent disposal sites; and may also include recycling facilities involving collection or processing for shipment.

Transit-Oriented Development: a new community type that includes a mix of T4 and T5 zones and may include T3 zones. To qualify as a transit-oriented development, an existing or planned rail or bus rapid transit stop or a transit stop that provides (or will provide) frequent and direct service to a regional employment center (such as a downtown or corporate business park) or a regional transportation center (such as an airport, train station, or ferry building) shall be located within the transit-oriented development. For the purpose of this Code, frequent service means that a bus, train, light rail, or ferry leaves the transit facility every 10 to 30 minutes during commute hours, and direct service means that the average travel time from the transit facility to the regional employment center or regional transportation center is one hour or less.

Transect: a cross-section of the environment showing a range of different habitats. The rural-to-urban transect of King County is divided into 8 transect zones (T1-Natural, T2A-Agricultural Production, T2B-Rural, T2C-Rural Center, T3-Urban Medium, T4-Urban High, T5-Urban Center, and T6-Urban Core). These zones describe the physical form and character of a place, according to the density and intensity of its land use and urbanism. Special districts are areas that should not be treated with the same standards used for these transect zones. Standards for the T6 zone are not included in this regulating code.

Transect Zone: One of several areas on a regulating plan (zoning map) regulated by the regulating code. Transect zones are administratively similar to the land use zones in conventional zoning codes, except that in addition to the usual building use, density, height, and setback requirements,

other elements of the intended environment of the transect zone are integrated, including those of the private lot and building and public frontage.

Trellis: a projection made of latticework that is used as a screen or a support climbing plants.

Turning Radius: the curved edge of a street at an intersection, measured at the inside edge of the vehicular tracking. The smaller the turning radius, the smaller the pedestrian crossing distance and the more slowly the vehicle is forced to make the turn.

Urban Growth Boundary: the extent of potential urban growth as determined by the projected demographic needs of a region. The Urban Growth Boundary for King County is identified in the King County Comprehensive Plan.

Utility Facility: a facility for the distribution or transmission of services, including: (A) Telephone exchanges; (B) Water pipelines, pumping or treatment stations; (C) Electrical substations; (D) Water storage reservoirs or tanks; (E) Municipal groundwater well-fields; (F) Regional surface water flow control and water quality facilities; (G) Natural gas pipelines, gate stations and limiting stations; (H) Propane, compressed natural gas and liquefied natural gas storage tanks serving multiple lots or uses from which fuel is distributed directly to individual users; (I) Wastewater pipelines, lift stations, pump stations, regulator stations or odor control facilities; and (J) Communication cables, electrical wires and associated structural supports. Such facilities include the corridors within which the utilities are provided, such as a narrow strip of land containing underground or above-ground utilities and the area necessary to maintain those utilities. This corridor is contained within and is part of the utility right-of-way or dedicated easement.

Variance: a ruling that would permit a practice that is not consistent with either a specific provision or the Intent of this Code. Variances are granted in compliance with Section 21A.06.1355 of the Zoning Ordinance.

Vector Waste Receiving Facility: a facility where vector waste is brought for treatment and storage prior to final disposal.

Vegetable Garden: a garden used to grow and harvest vegetables and fruits.

Veterinary Clinic: a medical office or facility for the treatment of animals.

Warrant: a ruling that would permit a practice that is not consistent with a specific provision of this Code, but that is justified by its intent. The Director may grant warrants administratively.

Wildlife shelter: a facility for the temporary housing of sick, wounded or displaced wildlife.

Wind Turbine: a rotary device for converting wind energy into mechanical or electrical energy.

Window Shade: a projection from the facade that is located above or to the side of a window such that it will provide shade to the interior building space.

| DEFINITIONS

Winery/Brewery: an establishment primarily engaged in one or more of the following: (A) Growing grapes, fruit, or hops and manufacturing wine, cider, brandies, or beers; (B) Manufacturing wine, cider, brandies, or beers from grapes, hops, and other fruits grown elsewhere; and (C) Blending wines, cider, brandies, or beers.

Wood Product Manufacturing (Excluding Furniture): the manufacturing of wood products, except for wood furniture.

Yard: a planted private frontage wherein the facade is set back from the property line. Yards are visually continuous with adjacent yards. The yard is defined by its adjacent facade and property line, where the front yard is the area between the front facade and the front property line, the external side yard is the area between the external side facade and the external side property line, the internal side yard is the area between the internal side facade and the internal side property line, and the rear yard is the area between the rear facade and the rear property line.

Zoning Code: Title 21A of the King County Code.

Zoning Map: the official map or maps that are part of the zoning code and delineate the boundaries of individual zones and districts. This Code includes a Regulating Plan in lieu of a conventional zoning map.

This page intentionally left blank.

SR900 and S 129th St Area

Existing Zoning

King County Form-Based Code

Pilot Project



King County
Department of Development and
Environmental Services

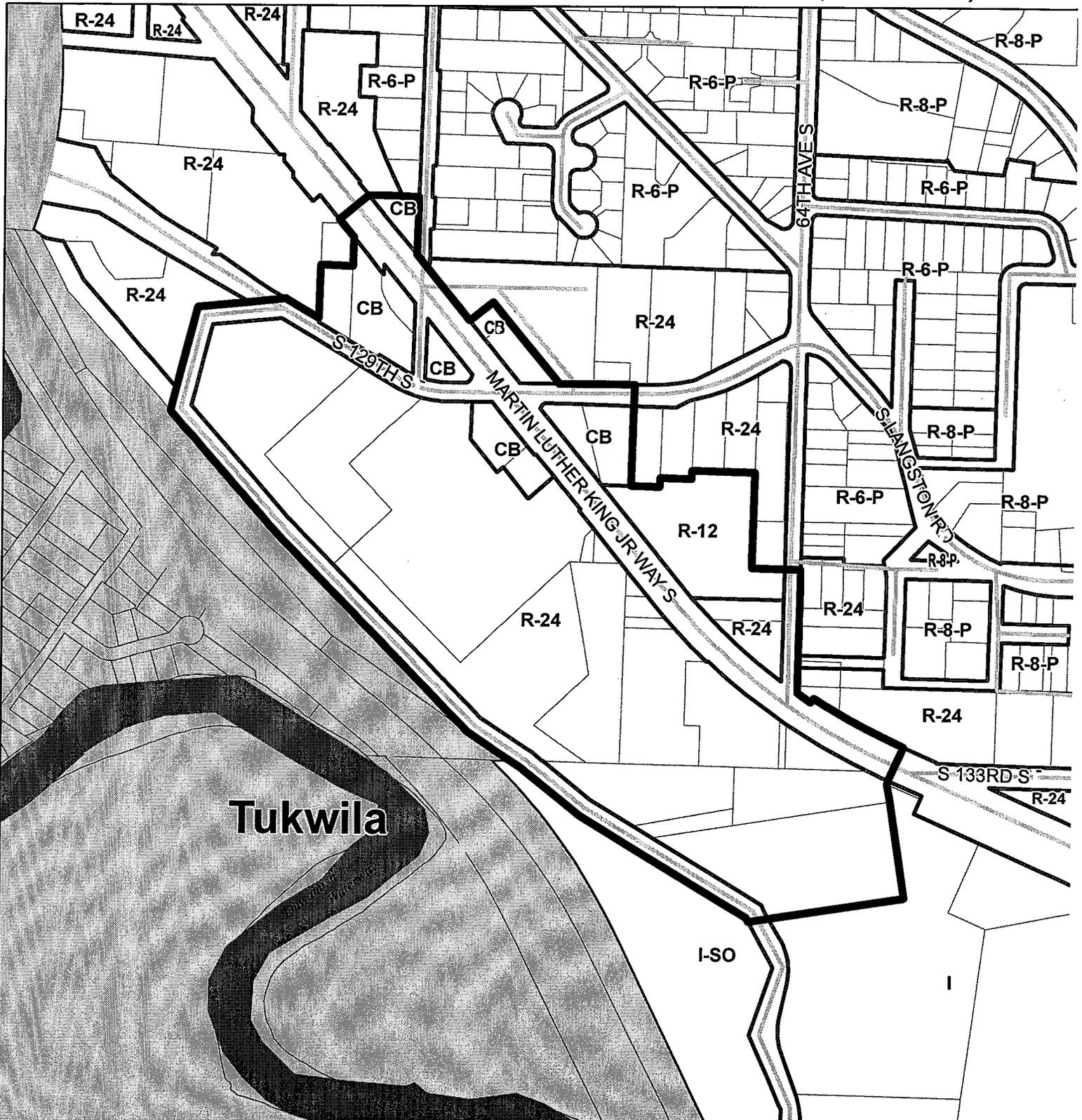
The information included on this map has been compiled by King County staff from a variety of sources and is subject to change without notice. King County makes no representations or warranties, express or implied, as to accuracy, completeness, timeliness, or rights to the use of such information. This document is not intended for use as a survey product. King County shall not be liable for any general, special, indirect, incidental, or consequential damages including, but not limited to, lost revenues or lost profits resulting from the use or misuse of the information contained on this map. Any sale of this map or information on this map is prohibited except by written permission of King County.



DATE: MONDAY, NOVEMBER 16, 2009 5:58:07 PM
M:\PAUL\ARCMAPS\20091116_EXISTINGZONING_SR900.MXD
M:\MAPS\200911\WCCOMBSP_20091116_EXISTINGZONING_SR900.PDF
MCCOMBSP

-  Pilot Project Area
-  Parcels
-  Cities

- R-6: Residential, 6 DU/acre
- R-8: Residential, 8 DU/acre
- R-12: Residential, 12 DU/acre
- R-24: Residential, 24 DU/acre
- CB: Community Business
- I: Industrial
- P indicates a parcel specific development condition
- SO indicates a special district overlay



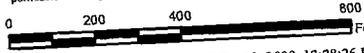


SR900 and S 129th St Area

King County Form-Based Code Pilot Project



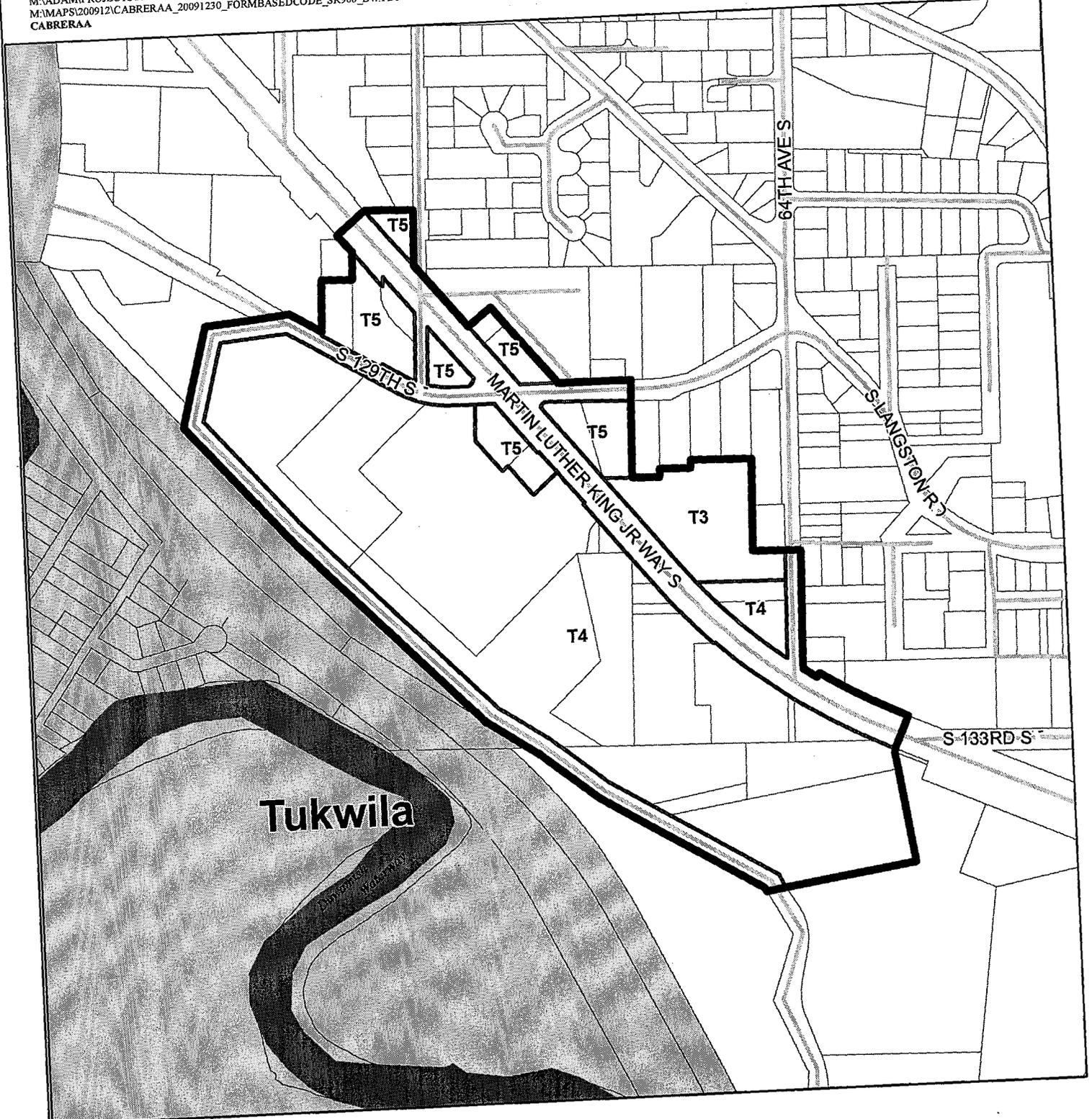
The information included on this map has been compiled by King County staff from a variety of sources and is subject to change without notice. King County makes no representations or warranties, express or implied, as to accuracy, completeness, timeliness, or rights to the use of such information. This document is not intended for use as a survey product. King County shall not be liable for any general, special, indirect, incidental, or consequential damages including, but not limited to, lost revenues or lost profits resulting from the use or misuse of the information contained on this map. Any sale of this map or information on this map is prohibited except by written permission of King County.



DATE: WEDNESDAY, DECEMBER 30, 2009 12:28:26 PM
 M:\ADAMP\PROJECTS\ARCGIS\20091230_FORMBASEDCODE_SR900_BW.MXD
 M:\MAPS\200912\CABRERAA_20091230_FORMBASEDCODE_SR900_BW.PDF
 CABRERAA

- Pilot Project Area
- Parcels
- Cities

- T1: Natural Zone
 - T2-A: Agricultural Production Zone
 - T2-B: Rural Zone
 - T2-C: Rural Center Zone
 - T3: Urban Medium Zone
 - T4: Urban High Zone
 - CVB: Civic Building
 - CS: Civic Space
- See text of Form-Based Code for standards guiding Civic Building and Civic Space designations





Cottage Lake Area

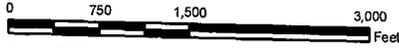
Existing Zoning

King County Form-Based Code Pilot Project



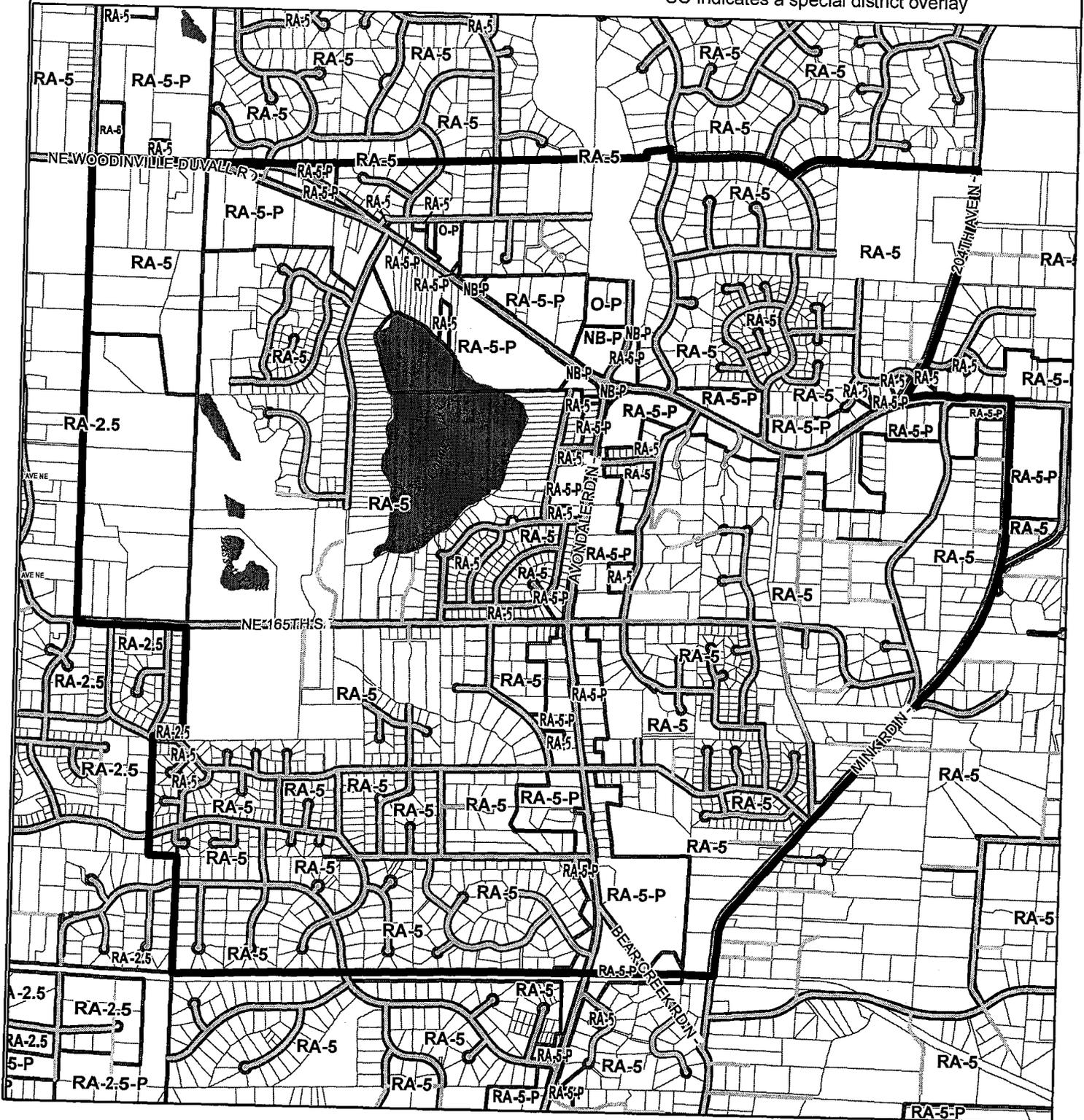
King County
Department of Development and
Environmental Services

The information included on this map has been compiled by King County staff from a variety of sources and is subject to change without notice. King County makes no representations or warranties, express or implied, as to accuracy, completeness, timeliness, or rights to the use of such information. This document is not intended for use as a survey product. King County shall not be liable for any general, special, indirect, incidental, or consequential damages including, but not limited to, lost revenues or lost profits resulting from the use or misuse of the information contained on this map. Any sale of this map or information on this map is prohibited except by written permission of King County.



DATE: TUESDAY, JANUARY 26, 2010
 MAADAMP\PROJECTS\ARCGIS\20100126_EXISTINGZONING_COTTAGELAKE.MXD
 M:\MAPS\201001\CABRERA_20100126_EXISTINGZONING_COTTAGELAKE.PDF
 CABRERA

- | | | | |
|--|--------------------|--------|---|
| | Pilot Project Area | RA-2.5 | Rural Area, 1 DU/5 acres |
| | Existing Zoning | RA-5 | Rural Area, 1 DU/5 acres |
| | Parcels | R-1 | Residential, 1 DU/acre |
| | Cities | O | Office |
| | | NB | Neighborhood Business |
| | | -P | indicates a parcel specific development condition |
| | | -SO | indicates a special district overlay |



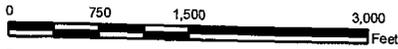
Cottage Lake Area

King County Form-Based Code Pilot Project



King County
Department of Development and
Environmental Services

The information included on this map has been compiled by King County staff from a variety of sources and is subject to change without notice. King County makes no representations or warranties, express or implied, as to accuracy, completeness, timeliness, or rights to the use of such information. This document is not intended for use as a survey product. King County shall not be liable for any general, special, indirect, incidental, or consequential damages including, but not limited to, lost revenues or lost profits resulting from the use or misuse of the information contained on this map. Any sale of this map or information on this map is prohibited except by written permission of King County.



- Pilot Project Area
- Parcels
- Cities

- T1: Natural Zone
 - T2-A: Agricultural Production Zone
 - T2-B: Rural Zone
 - T2-C: Rural Center Zone
 - T3: Urban Medium Zone
 - T4: Urban High Zone
 - CVB: Civic Building
 - CS: Civic Space
- See text of Form-Based Code for standards guiding Civic Building and Civic Space designations

DATE: TUESDAY, JANUARY 26, 2010
 M:\ADAMP\PROJECTS\ARC\GIS\20100126_FORMBASEDCODE_COTTAGELAKE_BW.MXD
 M:\MAPS\201001\CABRERAA_20100126_FORMBASEDCODE_COTTAGELAKE_BW.PDF
 CABRERAA

